

**REGULAR CITY COUNCIL MEETING
CITY HALL COUNCIL CHAMBERS
JANUARY 25, 2016
6:00 P.M.
AGENDA**

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. COUNCIL ACTIVITY REPORTS
- IV. DEPARTMENT HEAD REPORT – None
- V. CONSENT AGENDA
 - A. Minutes (page 1) – Park & Tree Board and Public Works Committee.
 - B. Vouchers (page 2)
 - C. Contractor Seminar (page 3)
 - D. CliftonLarsonAllen – 2016 Government Training Academy (page 5)
- VI. NEW BUSINESS
 - A. Set Special City Council - Working Session Meeting Date (page 9)
 - B. Request To Waive Fee For Compost Site Key – Rose Center (page 10)
 - C. Request To Waive Veterans Park Shelter Rental Fee – Community Ed – Concert In The Park (page 12)
 - D. Conditional Use Permit Request In Paynesville Township – RV Park – Lieser & Voss (page 14)
- VII. OLD BUSINESS
 - A. 2016 Street Improvement Project (page 56)
 - B. MPCA – Water Treatment Facility Grant (page 68)
- VIII. INFORMATIONAL
 - A. December Investment, Liquor Revenue & Expenses, Incode Financial Reports, City Attorney Report, and Capital Improvement Breakdown Report – all reports can be found on the City's website.
 - B. December Police Reports (page 75)
 - C. MPCA – Project Performance Certification (page 79)
 - D. MPCA – 2015 Irrigation Annual Report (page 80)
 - E. Morgan Stanley Investment Report (page 81)
 - F. MPCA – Grant Project Completion Certification (page 82)
- IX. CITY COUNCIL RECESS REGULAR CITY COUNCIL MEETING AND OPEN CLOSED MEETING – The City Council will be meeting in closed session to discuss real property located at Lot 12, Block 3, Haines Addition; Parcel No. 70.39026.0000.
- X. ADJOURN CLOSED MEETING AND RE-OPEN REGULAR CITY COUNCIL MEETING
- XI. CITY COUNCIL RECESS REGULAR CITY COUNCIL MEETING AND OPEN CLOSED MEETING – The City Council will be meeting in closed session to discuss real property described as 10.54 acres in Section 17, Township 122, Range 032. Parcel No. 26.15550.0005.
- XII. ADJOURN CLOSED MEETING AND RE-OPEN REGULAR CITY COUNCIL MEETING
- XIII. CITY COUNCIL RECESS REGULAR CITY COUNCIL MEETING AND OPEN CLOSED MEETING – The City Council will be meeting in closed session for preliminary consideration of allegations or charges against an individual.
- XIV. ADJOURN CLOSED MEETING AND RE-OPEN REGULAR CITY COUNCIL MEETING
- XV. ADJOURN

The agenda has been prepared to provide information regarding an upcoming meeting of the Paynesville City Council. This document does not claim to be complete and is subject to change. BARRIER FREE: All Paynesville City Council meetings are accessible to the handicapped. Attempts will be made to accommodate any other individual need for special services. Please contact City Hall at (320) 243-3714 early so that the necessary arrangements can be made.

REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Agenda Section: Consent Agenda

Originating Department: Administration

Item Number: V – A

ITEM DESCRIPTION: Minutes

Prepared by: Staff

COMMENTS:

Please review the minutes from the following meetings:

Meeting

October 1, 2015 Park & Tree Board

December 14, 2015 Public Works Committee

Emailed

10-28-15

12-28-15

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to approve the minutes from the following meetings:

October 1, 2015 Park & Tree Board

December 14, 2015 Public Works Committee

10-28-15

12-28-15

REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council
 Committee/Council Meeting Date: January 25, 2016
 Originating Department: Administration
 Agenda Section: Consent
 Item Number: V-B

ITEM DESCRIPTION: Vouchers
 Prepared by: Alice McColley

COMMENTS:
 Please review the following vouchers:

1/6/2016	Void cks to Pacific Life	89957, 89974, 90111, 90137, 90246, 90387, 90467, 90312	-\$4,886.48
1/7/2016	Payroll Checks	91825-91828	\$3,691.68
1/7/2016	Payroll Taxes	91829-91833	\$1,564.17
1/7/2016	Payroll Direct Deposit		\$18,155.09
1/7/2016	Payroll - Fed		\$5,795.23
1/7/2016	Payroll - State		\$1,063.23
1/7/2016	Payroll - TASC		\$576.92
1/7/2016	Payroll - PERA		\$6,176.27
1/7/2016	Payroll - SELECT		\$207.70
1/7/2016	Payroll - Blue Cross		\$5,222.21
1/7/2016	Payroll - AFLAC		\$139.41
1/20/2016	Void Ck 91868	91868	\$0.00
1/20/2016	Vouchers	91834-91871	\$345,511.39
1/20/2016	Vouchers	91872-91904	\$58,065.16
1/21/2016	Payroll Checks	91905-91928	\$21,014.45
1/21/2016	Payroll Taxes	91929	\$605.40
1/21/2016	Replacement Ck Pacific Life	91930	\$4,886.48
1/21/2016	Payroll Taxes	91931-91935	\$1,443.78
1/21/2016	Payroll Direct Deposit		\$0.00
1/21/2016	Payroll - Fed		\$5,646.69
1/21/2016	Payroll - State		\$986.27
1/21/2016	Payroll - TASC		\$577.60
1/21/2016	Payroll - PERA		\$5,732.07
1/21/2016	Payroll - SELECT		\$207.70
1/21/2016	Payroll - Blue Cross		\$5,222.15
1/21/2016	Payroll - AFLAC		\$139.41
		TOTAL	\$487,743.98

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to approve the following vouchers:

1/6/2016	Void cks to Pacific Life	89957, 89974, 90111, 90137, 90246, 90387, 90467, 90312	-\$4,886.48
1/7/2016	Payroll Checks	91825-91828	\$3,691.68
1/7/2016	Payroll Taxes	91829-91833	\$1,564.17
1/7/2016	Payroll Direct Deposit		\$18,155.09
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1/7/2016	Payroll - AFLAC		\$139.41
1/20/2016	Void Ck 91868	91868	\$0.00
1/20/2016	Vouchers	91834-91871	\$345,511.39
1/20/2016	Vouchers	91872-91904	\$58,065.16
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1/21/2016	Payroll - SELECT		\$207.70
1/21/2016	Payroll - Blue Cross		\$5,222.15
1/21/2016	Payroll - AFLAC		\$139.41
		TOTAL	\$487,743.98

REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Originating Department: Administration

Agenda Section: Consent

Item Number: V - C

ITEM DESCRIPTION: Contractor Seminar

Prepared by: Staff

COMMENTS:

Brad Mehlhop is interested in attending the Contractor Seminar on Thursday, February 18, 2016 in Litchfield, MN. The registration fee is \$85.00 plus mileage and staff time.

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to approve the attendance of Brad Mehlhop to the Contractor Seminar on Thursday, February 18, 2016.

Contractor Seminar

Date: Thursday, February 18, 2016

Time: 8am to 4:30pm

Place: Litchfield VFW, 915 E US Hwy 12, Litchfield

Cost: \$85.00 The registration fee includes hand-out materials, break refreshments and lunch. *Make checks payable to Meeker County.*

Host: Meeker County

Instructor: Greg Karrow

Seminar: "Questions and Answers" of the 2012 International Residential Code for 7 total continuing education hours (6 hours of Continuing Ed and 1 hour of Code/Energy)

Course ID Number: 20150715

This course has been approved by the MN Dept of Labor and Industry, Construction Codes and Licensing Division, Licensing and Certification Services, 443 Lafayette Rd N, St. Paul, MN 55155.

Registration starts at 7:30; Seminar begins at 8:00am. Please have your Social Security Number and Contractor License with you.

Payment and Registration are due by February 8, 2016 – No walk-in's

Legal Name Brad Mehlhop Phone 320-333-1102

Legal Business Name Brad Mehlhop

Legal Address 15476 Koronis RD NW

City Paynesville State MN Zip 56362

Personal License Number: Circle one: QB, QM, QR, QI or BO: # _____

Mail to: Meeker County Building Official, 325 Sibley Ave N, Litchfield, MN 55355

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Renee Echev
...13-16

REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Originating Department: Administration

Agenda Section: Consent

Item Number: V - D

ITEM DESCRIPTION: CliftonLarsonAllen – 2016 Government Training Academy

Prepared by: Staff

COMMENTS:

Renee Eckerly is interested in attending the CliftonLarsonAllen – 2016 Government Training Academy on Friday, March 4, 2016 in Brooklyn Center, MN. The registration fee is \$100.00 plus mileage and staff time.

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to approve the attendance of Renee Eckerly to the CliftonLarsonAllen – 2016 Government Training Academy on Friday, March 4, 2016.

Ensure CliftonLarsonAllen email communications are delivered to your inbox by adding "connect@CLAconnect.com" to your address book or email whitelist. [View this email as a web page.](#)



subscriptions



2016 Government Training Academy



Register for This Event

Friday, March 4

8 a.m. – 4:30 p.m.

Brooklyn Center, Minnesota

The 7th annual Government Training Academy offers learning opportunities in an intensive, one day session. You'll gain knowledge and insight to help you navigate the complex accounting and financial reporting issues facing many local governments.

This year's conference features sessions on a broad spectrum of governmental agency concerns, from performance auditing and payment card industry security to GASB and Single Audit updates.

At the end of this session, you will be able to:

- Identify and understand upcoming changes to GASB requirements
- Examine PCI compliance standards as it relates to your government
- Review Single Audit updates
- Evaluate best practices in performance auditing
- Recognize current and future strategies relating to Social Security
- Contrast the current and future accounting and financial reporting issues pertaining to pension and other post-employment benefits

Who should attend

Whether you work for a governmental entity as an accounting or financial manager, controller, accounting/reporting staff, or other financial/decision making roles, this seminar is right for you.

Schedule

7:15 – 8 a.m. — Registration

8:10 – 9 a.m.

GASB Update & Lessons Learned

Speakers: April Anderson and Chris Knopik of CliftonLarsonAllen LLP

This discussion will provide "lessons learned" on recently issued GASB statements, including GASB 68 and 71. The discussion will then turn to background on statements currently affecting the industry and taking effect in the near future, including GASB 72 "Fair Value Measurement and Application," GASB 76 "The Hierarchy of Generally Accepted Accounting Principles for State and Local Governments," and GASB 77 "Tax Abatement Disclosures." The sessions will wrap-up with an update on future GASB and GAQC "happenings".

1 hour Accounting (Governmental)

9 – 9:50 a.m.

PCI-DSS Compliance



Earle Brown Heritage Center
[Directions](#)
6155 Earle Brown Drive
Brooklyn Center, MN 55430



[Our Tax Communications](#)

[Podcast: Romes Gives Tips to Protect Personal and Business Data](#)

[DOL Study of Plan Audits Suggests Size Impacts Quality](#)

[Going Paperless Can Save Time and Money](#)

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Speaker: Randy Romes of CliftonLarsonAllen LLP

The Payment Card Industry Data Security Standard (PCI-DSS) has been in place for over 10 years, however state and local government entities continue to struggle with operationalizing the compliance requirements. The PCI-DSS controls are in alignment with "best practices", so why are they so difficult to implement? We will review the latest PCI-DSS requirements and address the hurdles that seem to get in the way of applying these controls to the People, the Rules, and the Tools at your organization. Participants will leave with a clear understanding of common misconceptions and pitfalls related to compliance efforts, as well as a prioritized approach to putting the PCI-DSS requirements into operation.

1 hour Specialized Knowledge and Applications

9:50 – 10:05 a.m. — Break

10:05 – 11:20 a.m.

OPEB, GASB 74 & 75

Speaker: Jill Urdahl of Hildi Incorporated

The NEW STATEMENTS have arrived, and the Governmental Accounting Standards Board (GASB) has finalized standards 74 and 75, which will require for the first time that the net liability for publicly sponsored retiree healthcare plans (and other postemployment benefits - OPEBs) be stated on balance sheets. The new accounting treatments for OPEBs mirror those of GASB 67/68 for public pensions. But what is different for OPEBs in GASB 74/75? It is time to prepare and put strategies in place for the upcoming implementation of GASB 74/75.

1.5 hours Accounting (Governmental)

11:20 – 11:45 a.m.

Performance Auditing in Governmental Entities

Speaker: Brian Pye of CliftonLarsonAllen LLP

Performance Audits are a unique element of the Generally Accepted Governmental Auditing Standards (GAGAS). GAGAS, or the "Yellow Book", provides the framework and standards for conducting performance audits; however, it also recognizes that auditors may use or incorporate other professional standards as part of the execution of these audits. The driver of these audits are the defined objectives or criteria. While performance audits are quite common within governmental entities, by definition the applicability and scope of these audits can vary as broadly and diversely as the nature of the objectives and criteria. Accordingly, this session will focus on the types of performance audit scopes that may exist, the methods for defining and determining the objectives and criteria to be used in these reports, and highlight the applicability and relevance of these reports within governmental entities. Further, we will discuss and review some of the unique characteristics and requirements of performance audits, and how this impacts the approach and procedures of these engagements.

.5 hours Specialized Knowledge and Applications

11:45 a.m. – 12:45 p.m. — Lunch

12:45 – 1:35 p.m.

Practical Considerations for Single Audits and the Uniform Grant Guidance

Speaker: Rachel Flanders of CliftonLarsonAllen LLP

This session will discuss the main challenges surrounding implementation of the Uniform Grant Guidance and ways to address them, provide information on how OMB's Compliance Supplement and grant agreements can help plan for a single audit and reduce findings, and review proactive grants management best practices to consider at your organization.

1 hour Auditing (Governmental)

1:35 – 2:25 p.m.

Tax Increment Financing

Speaker: David Drown of David Drown Associates

Is it really a City's best tool for economic development? David Drown Associates will join us to talk about the current state of TIF outside the Metro area, how to use TIF effectively in your community, and share a few hints and tips on how to keep things simple, manage risk and control expenses. There will be time for questions too.

1 hour Finance

2:25 – 2:40 p.m. — Break

2:40 – 3:05 p.m.

Section 179d

Speakers: Jared Woiwode and Paul Hydukovich of CliftonLarsonAllen LLP

Many organizations are recognizing the benefits of green building construction. High-performing buildings help minimize impacts on the environment and help reduce energy operating costs. In this session we'll discuss how government entities can help encourage green building by assigning the 179D federal tax deduction to the designers of their government-owned properties such as schools, university buildings, library's, municipal offices and others.

.5 hours Taxes

3:05 – 3:55 p.m.

Social Security Strategies

Speaker: Andy Frye of CliftonLarsonAllen Wealth Advisors

This session will provide an overview of the health of Social Security's finances, when to apply for Social Security benefits, and creative Social Security claiming strategies for couples.

1 hour Taxes

3:55 – 4:20 p.m.

Preparing for a Successful Audit

Speaker: Miranda Wendlandt of CliftonLarsonAllen LLP

Are you ready for your audit? Auditors recognize that you are busy and your time is valuable. Auditors also share the same goal in achieving an effective, efficient, organized, and value-added audit. During this session we will provide tips to establish best practices in preparing for an external audit.

.5 hours Accounting

Continental breakfast, lunch, materials, and CPE will be provided.

Fee

\$100

Please register by February 26, 2016.

Questions?

Shana Vachhani

shana.vachhani@CLAconnect.com

612-397-3049



Recommended CPE: Up to 8 hours
Prerequisites: Knowledge of governmental accounting
Program level: Update
Advance preparation: None
Delivery method: Group — live



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Contact Beth Spencer for more information on CliftonLarsonAllen's CPE Sponsor policies.



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 220 South Sixth Street, Suite 300
 Minneapolis, MN 55402

32-0240 | Government – State and Local

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REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Agenda Section: New Business

Originating Department: Administration

Item Number: VI - A

ITEM DESCRIPTION: Set Special City Council - Working Session Meeting Date

Prepared by: Staff

COMMENTS:

It has been suggested to set a Special City Council - Working Session meeting date. Possible meeting dates include:

Wednesday, February 3, 2016 at 6 p.m.

Tuesday, February 9, 2016 at 6 p.m.

Thursday, February 11, 2016 at 6 p.m.

Agenda item so far:

- Follow up on strategic planning goals

Please check your calendars.

ADMINISTRATOR COMMENTS:

Please contact Renee Eckerly if you have any agenda items.

COMMITTEE/COUNCIL ACTION:

Motion to set a Special City Council – Working Session meeting date for _____ at 6:00 p.m.

REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Agenda Section: New Business

Originating Department: Administration

Item Number: VI - B

ITEM DESCRIPTION: Request To Waive Fee For Compost Site Key – Rose Center

Prepared by: Staff

COMMENTS:

Please review the attached request to waive the \$100.00 compost site key fee for the Rose Center. The City has approved waiving the fee in the past.

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to approve the request to waive the \$100.00 compost site key fee for the Rose Center.

JAN 1 2016



R.O.S.E. Center

MEMBER OF LIVING AT HOME BLOCK NURSE PROGRAM

**1105 West Main St.
Paynesville, MN 56362**

**Inez Jones: Program Director
Bonnie Schwartz: Service Coordinator
Phone: 320-243-5144
FAX: 320-243-5146
E Mail: rosecenter@clearwire.net**

Dear City Council Members,

I am writing to request that you please waive the \$100.00 compost site key fee for the ROSE Center. The ROSE Center provides lawn care assistance for numerous senior citizens in the Paynesville community with the help of volunteers. We operate on a rather limited budget and would greatly appreciate the waiving of this fee.

Thank you for your consideration!


**Inez Jones
Director**

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REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Agenda Section: New Business

Originating Department: Administration

Item Number: VI - C

ITEM DESCRIPTION: Request To Waive Veterans Park Shelter Rental Fee –
Community Ed – Concert In The Park

Prepared by: Staff

COMMENTS:

Paynesville Community Education is requesting the usage of the Veterans Park Shelter kitchen with outdoor seating again this year (at no cost; but the City would be listed as a Concert Series Sponsor) for the Summer Concert in the Park Series to be held Thursday evenings from 4 – 9 pm June 16, 2016 to July 14, 2016.

The Park & Tree Board has reviewed this and recommends approval.

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to allow the Paynesville Community Education to use the Veterans Park Shelter kitchen and outdoor seating at no cost; however, the City would be listed as a Concert Series Sponsor for the Summer Concert in the Park Series to be held Thursday evenings from 4 – 9 pm June 16, 2016 to July 14, 2016.



Paynesville Area Community Education
Paynesville Fitness Center
801 West Hwy 23 Paynesville, MN 56362
Phone - 320-243-7570 Fax - 320-243-4534
www.PaynesvilleCE.com



Director - Matthew Dickhausen - Administrative Assistant - Lisa Mead - Program Coordinator - Melody Weber

November 17, 2015

Paynesville City Hall
Attention: City Administrator/Renee Eckerly
221 Washburne Ave
Paynesville, MN 56362

Paynesville Park and Tree Board;

I am writing to officially request the use of Veterans' Park for the 2016 Summer Concert in the Park Series. I would like permission to use the park, Thursday evenings from 4:00 pm – 9:00 pm, June 16, 2016 – July 14, 2016. The concerts will be held from 6:00 pm – 8:00 pm again this year.

After a successful 2015 concert series, we are looking forward to offering this event again in 2016.

I would also like to request usage of the VETERANS PARK SHELTER KITCHEN WITH OUTDOOR SEATING again this year for our non-profit groups whom sell concessions during the concerts. Being that the entire concert series is a non-profit event, I would like to propose that the City of Paynesville be listed as a Concert Series Sponsor and in turn the non-profit groups be given free usage of the Kitchen Area.

It is our goal to build community and showcase the assets of the Paynesville Area. It is my hope the Community Concert Series will assist us in making Paynesville a destination again this summer.

Please let me know if you have any questions or if you need anything else from me.

Thank you for your consideration of this request.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Dickhausen", written over a horizontal line.

Matt Dickhausen
Director
Paynesville Area Community Education
Paynesville Fitness Center
mdickhausen@paynesville.k12.mn.us
320-243-7570

www.PaynesvilleCE.com

Community Education is Lifelong Learning!

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REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Agenda Section: New Business

Originating Department: Administration

Item Number: VI - D

ITEM DESCRIPTION: Conditional Use Permit In Paynesville Township – RV Park –
Lieser & Voss

Prepared by: Staff

COMMENTS:

Renee Eckerly will give a verbal report. Please review the attached documents regarding a proposed Conditional Use Permit in Paynesville Township for a RV Park.

It is suggested that the City submit a letter expressing their support of the letter submitted by the Lake Koronis Recreational Trail Joint Powers Board and Paynesville Township.

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to send a letter to Stearns County expressing support of the letter submitted by the Lake Koronis Recreational Trail Joint Powers Board and Paynesville Township.

Lake Koronis Recreational Trail



www.paynesvillearea.com/lktrail/koronistrail.htm

Lake Koronis Recreational Trail, 662 Spruce St., Paynesville, MN 56362 • 320-243-3186 • jeffmarb@lakedalelink.net

January 19, 2016

**Lake Koronis
Recreational Trail–
Joint Powers Board**

Stearns County Commissioners
705 Courthouse Square Room 121
St. Cloud, MN 56303

Jeff Bertram, Chair

RE: February 2, 2016 Conditional Use Permit Application P-004437 Steve Lieser & David Voss

Dear Commissioners,

Don Pietsch, Vice Chair
Supervisor
Paynesville Township

The Lake Koronis Recreational Trail Joint Powers Board would like to express our opinion regarding the Conditional Use Permit Application from Steve Lieser and David Voss regarding the creation of a 36 unit RV Park.

Don Wiese
Clerk
Paynesville Township

The Board supports economic growth and an increase in tourism, which the RV Park would accomplish. The project would stimulate additional utilization of the Recreational Trail so more people can participate in health family friendly activities while enjoying the beautiful view of Lake Koronis.

Mike Jensen
Public Works Director
Paynesville Township

With no existing pedestrian crossing in that vicinity the Board has serious concerns about the safety of pedestrian and bicycle traffic attempting to cross Highway 55 from the park to the lake or trail and back. The board is also concerned as to the safety of slow moving and lengthy campers and RVs attempting to enter or exit the 60 mph Highway 55 in an area already congested with existing driveways and roads. Enclosed are pictures of the visibility of the entrance.

Renee Eckerly, Secretary
City Administrator
City of Paynesville

If a Conditional Use Permit is issued, we are requesting that a condition of the permit be an approved safe way for bicycles and pedestrians to get to and from the recreational trail on the west side of Hwy 55.

Ron Mergen
Public Works Director
City of Paynesville

Sincerely,

Lake Koronis Recreational Trail Joint Powers Board
Paynesville Township Board

Jeff Thompson
Mayor
City of Paynesville

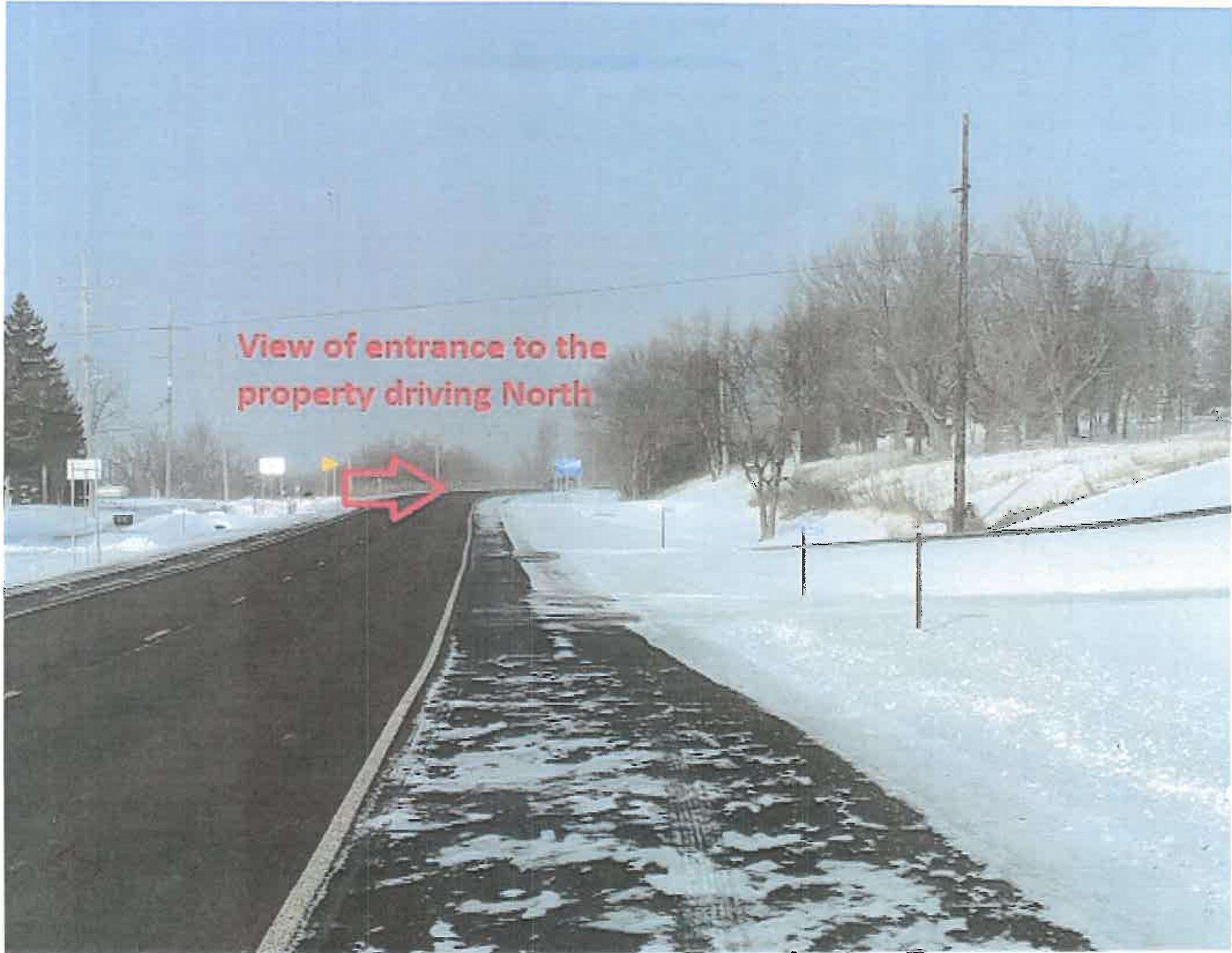
CC: Angie Berg, Supervisor Stearns County Land Use Division

15

**Entrance to property
driving to the North**



**View of entrance to the
property driving North**





Property Entrance



12



16



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Environmental Services Department

Administration Center Rm 343 • 705 Courthouse Square • St. Cloud, MN 56303
320-656-3613 • Fax 320-656-6484 • 1-800-450-0852

STEARNS COUNTY PLANNING COMMISSION MEETING
Stearns County Service Center – Room 121(BCD)
3301 County Road 138, Waite Park, MN
Thursday, December 17, 2015
7:00 P.M.

AGENDA

Pledge of Allegiance

Public Hearings

1. To consider a **conditional use permit** application submitted by the **North Fork Crow River Watershed District**, Brooten MN according to Sections 4.8, 10.1, and 10.2.14 of Stearns County Land Use and Zoning Ordinance #439, to maintain and repair County Ditch 32 by removing excessive vegetation and sediment from the open channel and deposit said material on the existing spoil bank. The property is located in part of Sections 1, 2, 3, 4, 9, 10, 11, 12, 14, and 15 North Fork Township (124/35); part of Sections 24, 25, 26, 34, 35, and 36 Raymond Township (125/35); and Sections 19, 29, 30, and 31 Getty Township (125/34).

ACTION TAKEN: The Planning Commission recommended approval with the following conditions:

- A. The engineered plan submitted with this application shall be followed as prepared and shall be inspected and approved by an engineer as being in conformance with the approved plan.

2. To consider a **conditional use permit** application submitted by **Steve Lieser**, Spicer MN **on behalf of David Voss**, Paynesville MN according to Sections 4.8, 6.47, 9.7.5 F and 10.2.23 of Stearns County Land Use and Zoning Ordinance #439, to operate a recreational vehicle park containing 36 sites in the Residential 5 (R-5) zoning district. The property is located in part of Government Lots 4 & 5 in Section 35, lying easterly of State Highway 55, Paynesville Township (122/32).

ACTION TAKEN: The Planning Commission recommended denial of the request.

3. To consider a **conditional use permit** application submitted by **Sun Edison LLC**, Excelsior MN **on behalf of Marvin & Sandra Ramler**, Richmond MN according to Sections 4.8, 6.51.2 and 9.3.5U of Stearns County Land Use and Zoning Ordinance #439, to construct a 5 Megawatt solar garden in the Agricultural 40 zoning district. The property is located in part of the SW1/4 in Section 13, lying easterly of Dutch Avenue and westerly of County Road 9, Munson Township (123/31).

ACTION TAKEN: The Planning Commission recommended denial of the request.



**Conditional Use Permit Request
Recreational Vehicle Park**

File No: P-004437

Parcel No.: 26.15965.0000

Property Owner: David & Hannah Voss
20229 County Road 15
Belgrade, MN 56312

Applicant: Steve Lieser
13378 Skyline Dr.
Spicer, MN 56288

DESCRIPTION OF PROPOSAL

The applicant is requesting to operate a recreational vehicle park containing 36 sites in the Residential 5 zoning district. This request is in accordance with *Sections 4.8, 6.47, 9.7.5 F and 10.2.23 of Stearns County Land Use and Zoning Ordinance #439.*

DETAILS OF REQUEST

The applicants are proposing a 36 unit RV park. The sites are required to be 4000 ft² and will be allowed a maximum of 800 ft² of structure coverage per site. They are also proposing a 24' x 28' clubhouse/office near the entrance of the RV park.

SITE INFORMATION

Location of Property: The property is located in part of Government Lots 4 & 5 in Section 35, lying easterly of State Highway 55, Paynesville Township (122/32).

Zoning: R-5 District

Areas of Concern: Shoreland Overlay District of Lake Koronis, a general development lake.

Wetlands: There is a wetland within the property. Site 9 is partially within this wetland and will need to be eliminated or moved out of the wetland area.

Signs: A 32 square foot sign is proposed at the entrance to the RV park

Access: Access is proposed from the existing approach on State Hwy 55. Comments from MNDOT have not been received yet.

RESORT STANDARDS (Section 10.2.23 Ordinance #439)

1. **Site Plan:** This has been submitted.

2. **Density:** The RV park meets density requirements. Density calculations are attached.
3. **Structure Requirements:** The clubhouse and RV's will meet the required setbacks. Impervious lot coverage is met.
4. **Accessory Structures:** Accessory structures associated with the RV's shall not exceed 48 ft² or 8 feet in height.
5. **Marina permit:** Not applicable.
6. **Design Criteria:**
 - (a) **Lot size:** The property meets the 3 acre minimum lot size requirement.
 - (b) **Shore Impact Zone and Open Space:** Greater than 50% of the property is open space.
 - (c) **Centralization & Design:**
 - **Sewer and Water Supply:** The applicant has submitted a preliminary septic evaluation from a licensed septic designer. There are 3 proposed septic locations however they don't appear to meet the size requirements and are not shown to scale on the site plan. The site plan will need to be revised to accurately show the septic sites along with showing their setbacks to the property lines, RV pads, and water supply wells.
 - **Shoreline Recreation Facilities:** No shoreline recreation facilities are proposed.
 - (d) **Parking:** Three parking spaces are required for each unit within the recreational vehicle park; 2 within the unit and 1 in the overflow parking area.
 - (e) **Severe Weather Shelter:** A severe weather shelter is required per Section 4.20.2 A-J of Ordinance 203. This will need to be calculated into the allowed structure coverage for the RV park which may result in a reduction in the number of RV sites or the size of the clubhouse.
7. **Floodplain:** The property is not located within the floodplain.
8. **Shoreland Buffer:** The property contains a very narrow strip of land approximately 1000' in length between Lake Koronis and State Hwy 55. Much of this area is bluff. There are no proposed changes to this area.
9. **Erosion Control and Stormwater Management:** A stormwater management plan per Section 7.25 of Ordinance 439 is required since more than 1 acre of impervious surface will be created. The stormwater management plan has not been submitted.

RECREATIONAL VEHICLE PARKS AND CAMPGROUNDS STANDARDS (Section 6.47 of Ordinance #439)

- A. **Road Classification:** The property is served by State Hwy 55, a minor arterial. Approval from MNDOT is required for use of the access.
- F. **Internal Circulation:** All RV sites have direct access to the internal circulation roadway.
- G. **Manufactured Homes:** Use and/or storage of manufactured homes is not allowed within the RV park.

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- K. Caretaker Residence:** No caretaker residence is proposed.
- L. Signs:** A 32 square foot sign is proposed at the entrance to the RV park.
- M. License:** The RV park is required to be licensed by the Department.

ADJACENT LAND USES

The surrounding land uses are Lake Koronis lakeshore residential, rural residential, a church and agricultural.

ADJACENT ZONING

The surrounding zoning is R-1 to the west, R-5 to the west, north, east, and south, and T-20 to the east.

CONSISTENCY WITH COMPREHENSIVE PLAN

Future Land Use Map: Agricultural

The Agricultural category is described as:

“Primary land use: agriculture, including animal agriculture, crop production and any specialized agricultural enterprise, in combination with limited ag-related businesses, recreational, institutional, open space uses. Agricultural uses will take precedence over competing uses.”

Policy Area Map: Lakes Natural / Recreational Area

Encompasses the Sauk River Chain of Lakes south of MN Highway 23. This area includes some of the most intensive residential and recreational shoreland development in the county, with impacts on water quality and natural resources. City expansion along the MN 23 corridor may also create land use conflicts.

Policies:

1. Work to limit the impacts of additional shoreland development by clustering housing away from shorelines, using a conservation design approach.
2. Encourage shoreland protection and restoration methods such as vegetative buffers.
3. Continue to address wastewater treatment and water quality problems through the Water Plan, the Sauk River Watershed District lake associations and other partnerships.

Goals and Objectives

Chapter 3 Land Use Plan

Goal 3. Manage the impacts of growth and development on the County’s rural character.

Objective 1. Discourage incompatible land uses through effective land use controls.

Objective 2. Identify appropriate areas for commercial, industrial, and non-farm rural residential developments.

Chapter 7. Economic Development Plan

Goal 1. Maintain and strengthen economic diversity.

Objective 3. Acknowledge tourism's economic value and the prospective contribution of this industry to both the diversity of the County economic base and the potential for growth.

Objective 4. Protect tourism and related resources from detrimental development activity and conflicting land uses.

Staff Analysis:

1. Is the proposal consistent with existing County ordinances (performance standards)? Specify the applicable section of the ordinance and discuss why or why not.

Land Use and Zoning Ordinance #439 Sections 4.8, 6.47, 9.7.5 F and 10.2.23, Manufactured Home Park Ordinance #203, Recreational Camping Areas Ordinance #187
Recreational Vehicle parks / Resorts are allowed as a conditional use in the R-5 zoning district.

2. Are there any other standards, rules or requirements that the proposal must meet?
13 conditions

3. Is the proposed use compatible with the present and future land uses in the area or can it be separated by distance or screening from adjacent land uses? Why or why not? How will any scenic views be impacted by the proposed use?
To be determined by the Planning Commission

4. How are the potential environmental impacts (groundwater, surface water, air quality, wellhead protection areas) of the proposal being addressed?
To be determined by the Planning Commission

5. How will the potential impacts of the proposal affect the property values of the area in which it is proposed?
To be determined by the Planning Commission

6. What potential public health, safety or traffic generation impacts will the proposal have in relation to the area and the capability of the roads serving the area, and how are they being addressed by the proposal?
To be determined by the Planning Commission

7. How does the proposal affect the general health, safety and welfare of the residents?
To be determined by the Planning Commission

8. Does the proposal conform to the goals and objectives of the County's Comprehensive Plan? Specify which goals and objectives apply.
Future Land Use Map: Agricultural District
Policy Area Map: Lake Natural / Recreational Area
Economic Development Plan Goal 1, Objectives 3, 4
Land Use Plan Goal 3, Objective 1, 2

9. How will the proposal potentially impact existing public services and facilities including schools, parks, streets, and utilities and what potential is there for the proposal to overburden the service capacity? How will these issues be addressed by the proposal?
To be determined by the Planning Commission

10. Has the applicant provided financial assurance to guarantee reclamation of cleanup?
Not Applicable

11. Other issues pertinent to this matter.
To be determined by the Planning Commission

RECOMMENDED ACTION

If the Planning Commission recommends approval of this conditional use permit to the County Board of Commissioners according to *Sections 4.8, 6.47, 9.7.5 F and 10.2.23 of Stearns County Land Use and Zoning Ordinance #439*, the Planning Commission should consider the following conditions:

- 1) The area of the property located between Lake Koronis and State Hwy 55 shall be preserved and maintained in its natural state and cannot be used or developed for recreational purposes associated with the RV park without an amendment to this conditional use permit.
- 2) The state accessibility code is required to be met for the clubhouse. Confirmation from a licensed building official that the building plans meet the accessibility code is required prior to issuing a construction site permit for a new structure.
- 3) An approved stormwater management plan per Section 7.25 of Ordinance 439 is required prior to ground disturbing activity. A financial guarantee in the amount of 125% of the cost to implement the stormwater management plan shall also be submitted prior to ground disturbing activity. A shoreland alteration conditional use permit may be required based on the information submitted with the stormwater management plan.
- 4) Each RV site is limited to 800 square feet of structure coverage.
- 5) A severe weather shelter is required per Section 4.20.2 A-J of Ordinance 203 and shall be calculated into the allowed structure coverage for the RV park which may result in a reduction in the number of RV sites or the size of the clubhouse.
- 6) The RV park shall obtain a Food, Beverage, and Lodging license from the Environmental Services Department.
- 7) A safe and adequate supply of water, capable of supplying 100 gallons per site per day for all RV sites is required. On-site water supply and subsurface sewage treatment systems must be centralized, designed and installed to meet all State and County requirements.
- 8) The maximum footprint of the clubhouse shall be 1123 ft² in order to meet the density requirements for Tier 2.
- 9) Submit a revised site plan showing the elimination or relocation of site 9 and the proposed septic sites to scale with the distances to the property lines, to the proposed RV pads, and to water supply wells.
- 10) Approval from MNDOT is required for use of the access.
- 11) Any changes to the proposed site plan including configuration, location of roads, septic system, structures will require an amendment of the conditional use permit.
- 12) Information regarding the RV park manager including contact name and number shall be made available to the County and to the users of the RV park.

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- 13) No grading, filling or construction shall be allowed until a stormwater management plan, construction site permit, and a Food, Beverage, and Lodging license have been approved.
- 14) The open space shown on the plan shall be preserved as permanent open space for the life of the RV park.

County Board meeting: January 5, 2016

Attachments:

Staff report
Location map
Application
Site plans
Aerial photo
Density Calculations

Notifications

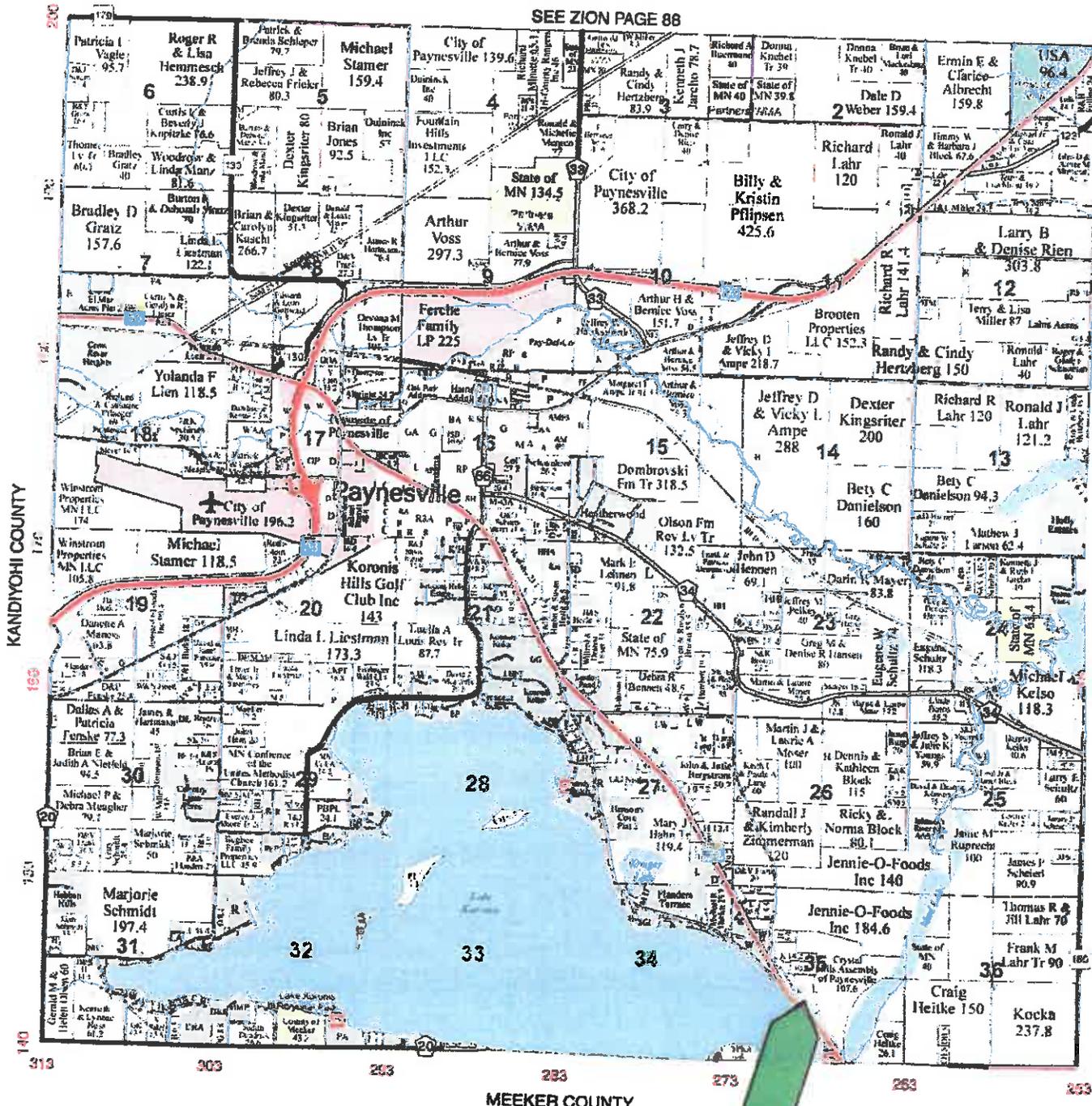
Notice mailed December 4, 2015
Applications posted online November 23, 2015
Agenda packets posted online December 10, 2015

Parties Notified

Property owners within 1/4 mile
Chair, Clerk & Supervisors, Payneville Township
North Fork Crow River Watershed District
Koronis Lake Association
Department of Natural Resources

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SEE ZION PAGE 88



SEE EDEN LAKE PAGE 28



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P-004437
jen



APPLICATION FOR CONDITIONAL USE PERMIT General Application

Stearns County Environmental Services Department
http://co.stearns.mn.us/Environment/LandUseandSubdivision
Administration Center Rm 343 - 705 Courthouse Square - St. Cloud, MN 56303
320-656-3613 or 1-800-450-0852 - Fax 320-656-6484

Application Fee: \$ 500 File No. P-004437 Receipt No. 15-20512

Property Owner	<u>DAVID VOSS</u>	Phone	<u>320-250-3410</u>
Property Owner Email	<u>dauidv@vossplumbing.com</u>		
Address of Property	<u>26896 HWY 55 PAYNESVILLE, MN</u>		
Mailing Address	<u>SAME</u>		
Applicant (if different from above)	<u>OWNER STEVE LIESER</u>	<u>PROP MGR DAVE ROSE</u>	Phone <u>320-295-1883</u>
Applicant Email	<u>daverose@tds.net</u>		
Applicant Mailing Address	<u>13378 SKYLINE DR, SPICER, MN 56288</u>		
Parcel I.D. Number(s)	<u>LOT 4+5</u>	<u>RANGE 32</u>	Township <u>122</u> Section <u>35</u>
Legal Description	<u>LOT 4+5 TOWNSHIP 122 SECTION 35 RANGE 32</u> <u>26159105.0000</u>		

Structures and facilities may be required to meet the Handicap Accessibility Code portion of the State Building Code, Minnesota Rules, chapter 1341.

Primary Zoning District R-5 Section of Ordinance _____
Proposed Use RV PARK Section of Ordinance _____

Staff to Complete
Overlay Districts <input type="checkbox"/> Floodplain <input type="checkbox"/> Airport <input type="checkbox"/> Conservation Overlay <input checked="" type="checkbox"/> Shoreland: Water Body Name/Number <u>LAKE KORONIS</u> Classification <u>R5 RESIDENTIAL</u>

1. Detailed Description of Request. Include current and proposed uses and structures you plan on building; number of employees and hours of business. CURRENTLY VACANT LAND AND PROPOSING AN RV PARK WITH 41 LOTS. WILL BUILD A 40x50 OFFICE/CLUB HOUSE. WILL EMPLOY 4 PEOPLE AND WILL BE OPEN 7:00AM - 10:00 PM

2. What road do you access? Are you proposing a) any changes to the access or b) a new access? HWY 55, NO CHANGES

3. Describe existing and proposed fencing and screening, including vegetation. EXISTING SOME TREES AND GRASS AND SOME EXISTING FENCING. PLAN TO REDO UPPER LANDSCAPE - PLANT TREES + GRASS.

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4. How will you manage erosion and storm water on your property? STORM WATER RETENSION
ALREADY COMPLETED AND APPROVED BY STEARNS CTY.

Will you be disturbing over one acre of land? Y/N

Will your project end up with more than one acre of new impervious surfaces? Y/N

5. Describe existing and proposed lighting on the property. NONE EXISTING. PROPOSAL
IS TO LIGHT EACH INDIVIDUAL PEDISTAL.

6. Describe existing and proposed parking and loading facilities on the property? Include the type of surface (gravel, concrete, asphalt) and the number of parking spaces. Explain or show on site plan the general traffic circulation. GRAVEL FOR OVERFLOW PARKING WITH 50 SPACES AROUND
THE CLUBHOUSE. SEE MAP

7. Describe existing and proposed signage on the property. For signs on a structure, a building elevation is required.
100 SQ FT ENTRANCE SIGN WITH GATED ENTRANCE
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8. Describe existing and proposed outdoor storage and display areas. NONE

Building and Setbacks (As shown on site plan)

- | | |
|--|---------------------------------------|
| 9. Dimensions <u>48x50 2Y X 28 28</u> | 15. Lot Size <u>11 ACRES</u> |
| 10. Total Height <u>18'</u> | 16. Lot Coverage <u>482,349 SQ FT</u> |
| 11. Sidewall Height <u>8'</u> | 17. Front (OHWL) Setback <u>300'</u> |
| 12. ROW Setback <u>300'</u> | 18. Rear Setback <u>400'</u> |
| 13. Centerline Setback <u>400'</u> | 19. Side Setback <u>100'</u> |
| 14. Feedlot Setback _____ | |

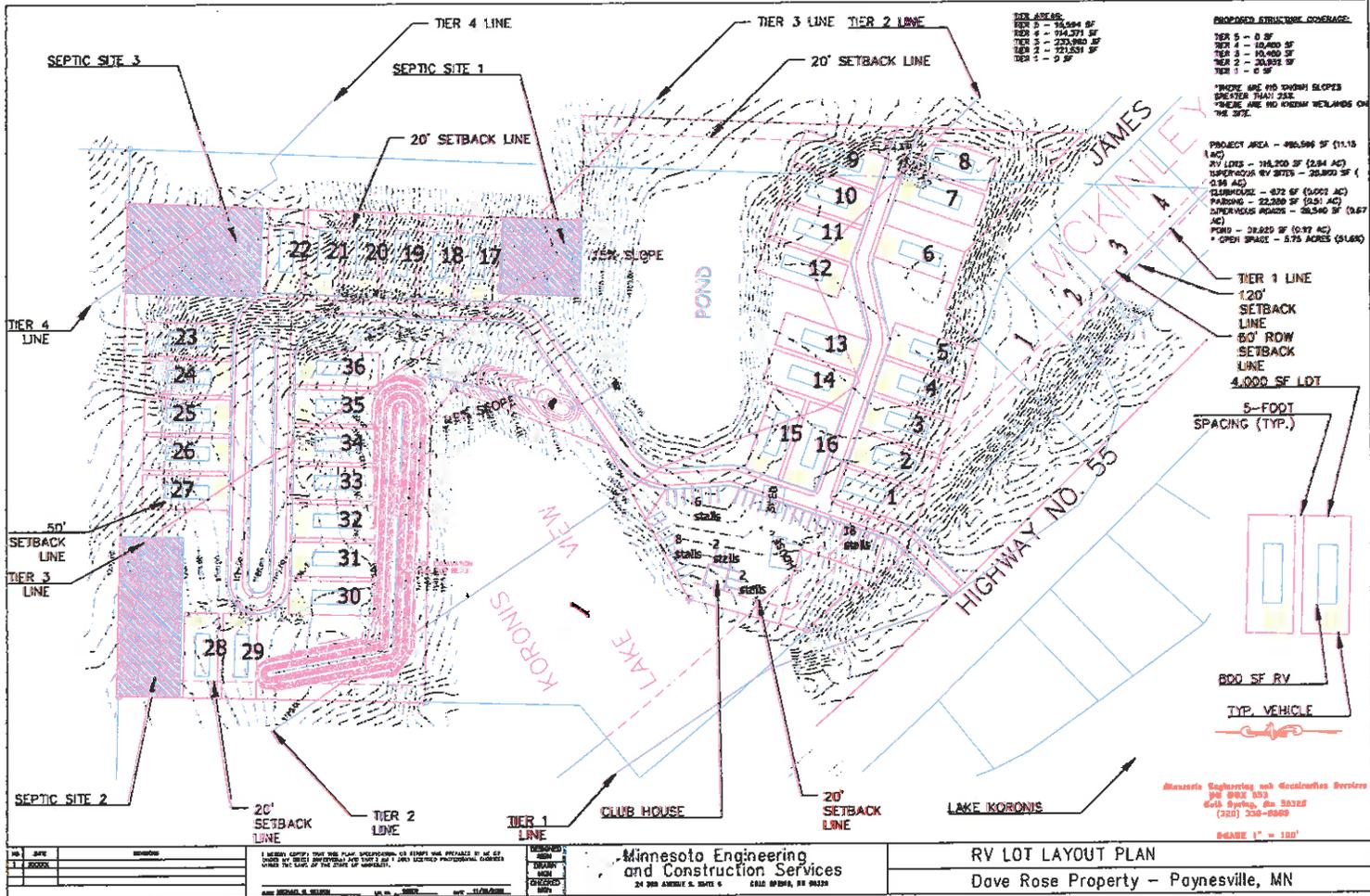
Note: In order to fully evaluate the proposed use, please supply a site plan map that shows all applicable distances, setbacks, buildings, roads, parking, display areas, lighting, etc.

Property Owner's Signature [Signature]
Applicant's Signature [Signature]

Date _____
Date _____

Signature of this application authorizes Environmental Services Staff to enter upon the property to perform needed inspections. Entry may be without prior notice.

WHAT HAPPENS NEXT? Staff will review your application and determine if the application is complete. If the application is complete, the application will be scheduled for a Public Hearing with the County Planning Commission who will recommend action to the County Board of Commissioners. It typically takes 2 months from the time a complete application is submitted until the County Board issues final approval or denial of the CUP.



NO.	DATE	REVISION
1.	2/20/22	

I HEREBY CERTIFY THAT THE PLANS, SPECIFICATIONS, OR REPORTS PREPARED BY ME OR UNDER MY SUPERVISION AND CONTROL ARE TRUE AND CORRECT AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

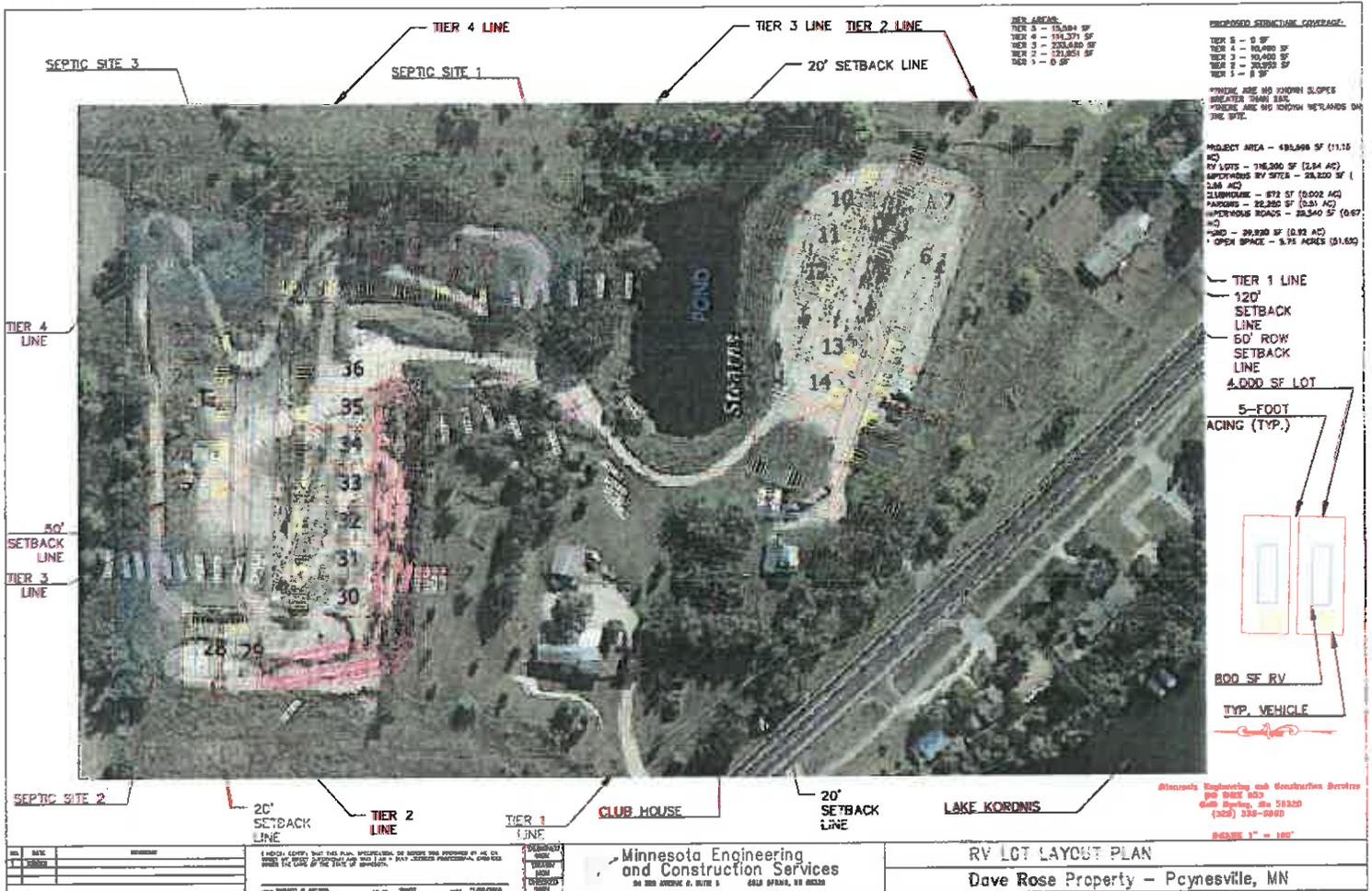
DATE: 2/20/22

BY: MICHAEL A. SULLIVAN, P.E.

Minnesota Engineering and Construction Services
 24 2nd Avenue S, Suite 5
 55101 Paynesville, MN 56359

RV LOT LAYOUT PLAN
 Dove Rose Property - Paynesville, MN

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Lieser / Voss RV Park

This map is made available on an "as is" basis, without express or implied warranty of any sort including, specifically, any implied warranties of fitness for a particular purpose, warranties of merchantability, or warranties relating to the accuracy or completeness of the database. Date: 12/7/2018



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David & Hannah Voss
26.15965.0000
Density Calculations
December 2015

Tier 1

Total / Suitable land area = 0 ft²

Tier 2

Total / Suitable land area = 121,651 ft²

Total allowed coverage= 121,651 ft² x 0.075 = 9123.82 ft²

Proposed: 10 RV sites = 8000 ft²

Clubhouse = maximum of 1123.82 ft²

Tier 3

Total land area= 233,980 ft²

Suitable land area = 233,980 ft² - 39,920 ft² = 194,060 ft²

Total allowed coverage= 194,060 ft² x 0.075 = 14,554.5 ft²

Proposed: 13 RV sites = 10,400 ft²

Remaining allowed coverage = 1822.18ft² will be transferred to Tier 4 which leaves
2332.32 ft² remaining

Tier 4

Total / Suitable land area= 114,371 ft²

Total allowed coverage= 114,371 ft² x 0.075 = 8577.82 ft²

Proposed: 13 RV sites = 10,400 ft² (can transfer 1822.18ft² from Tier 3)

Open Space

Total land area= 485,596 ft²

Required open space= 485,596 ft² / 2= 242,798 ft²

***RV calculation for the Tiers used an assumed 800 ft² of coverage per RV site. The total allowed coverage for each tier would also include any sheds, office, bath house, etc. thus reducing the actual number of RV sites allowed.**

These calculations do not include the strip of land across Hwy 55 on Lake Koronis.



Minnesota Department of Transportation

District 3

7694 Industrial Park Road
Baxter, MN 56425

Office Phone: 218-828-5700

Fax: 218-828-5814

January 20, 2016

Ms. Heidi Winskowski
Stearns County Environmental Services
705 Courthouse Square, Room 343
St. Cloud, MN 56303

RE: C.S. 7314; R.P. 112.999 (MN 55)
RV Park – Paynesville Township (Follow-Up Comments)
Stearns County, Minnesota

Dear Ms. Winskowski:

This letter is in follow-up to the letter dated December 16, 2015 to Stearns County pertaining to the Minnesota Department of Transportation (MnDOT), District 3 review of the proposal for an RV Park along Minnesota State Highway 55 in Paynesville Township.

We have since been informed that the apparent property on the lakeside, owned by the developer, is not being proposed for use at this time. Although that property will not be developed, there are concerns this development will increase pedestrian traffic across Highway 55 to reach the Lake Koronis Recreational Trail.

An increase of pedestrians crossing the highway will likely increase the risk of pedestrian/vehicle conflicts due to the anticipated frequency of crossing and the unexpected nature of pedestrians crossing rural high speed highways. Grade separated pedestrian crossings are a proven safety strategy for crossing pedestrians in high speed rural areas but these types of improvements are not always viable.

If this RV Park development were to move forward and a grade separated pedestrian crossing were not feasible, our next option would be to suggest an experimental or research type of safety improvement. A potential type of safety improvement could include a pedestrian activated Rapid Rectangular Flashing Beacon System (RRFB) with advanced Pedestrian Warning signs. Enclosed is an example of such type system on State Highway 47 in St. Francis, Minnesota.

Please note our previous comments related to a right-turn lane, stormwater, and permits to work in the right of way remain in effect.

If you have any further questions or comments, please call me at 218/828-5780.

Sincerely,

Jon Mason
Senior Planner

mln

cc: MnDOT District 3 Entrance Group (electronic)

An Equal Opportunity Employer



STATEMENT OF ESTIMATED QUANTITIES					
LINE NO.	ITEM NO.	ITEM	UNIT	TOTAL ESTIMATED QUANTITY	TH 47 PEDESTRIAN IMPROVEMENTS SAP 235-010-002
1	2021.501	MOBILIZATION	LUMP SUM	1	1
2	2102.501	PAVEMENT MARKING REMOVAL	SQ FT	450	450
3	2102.502	PAVEMENT MARKING REMOVAL	LN FT	100	100
4	2104.501	REMOVE SEWER PIPE (STORM)	LN FT	40	40
5	2104.505	REMOVE CONCRETE PAVEMENT	SQ YD	106	106
6	2104.505	REMOVE BITUMINOUS PAVEMENT	SQ YD	143	143
7	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	LN FT	283	283
8	2104.523	SALVAGE SIGN	EACH	5	5
9	2104.601	REMOVE FLASHER SYSTEM	LUMP SUM	1	1
10	2104.601	MAN. SALVAGED MATERIAL	LUMP SUM	1	1
11	2105.523	COMMON BORROW (LV)	CU YD	8	8
12	2105.525	TOPSOIL BORROW (LV)	CU YD	8	8
13	2231.804	BITUMINOUS PATCH (TH 47 RESTORATION)	SQ YD	78	78
14	2231.804	BITUMINOUS PATCH (TRAIL RESTORATION)	SQ YD	5	5
15	2501.511	12" CS PIPE CULVERT	LN FT	51	51
16	2501.511	18" CS PIPE CULVERT	LN FT	35	35
17	2501.513	12" CS PIPE APRON	EACH	3	3
18	2501.515	18" CS PIPE APRON	EACH	1	1
19	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	2	2
20	2508.501	CONSTRUCT DRAINAGE STRUCTURE, DES 0	LN FT	3.3	3.3
21	2508.516	CASTING ASSEMBLY	EACH	1	1
22	2531.501	6" CONCRETE WALK	SQ FT	2070	2070
23	2531.501	CONCRETE CURB & OUTER DESIGN B&B	LN FT	109	109
24	2531.618	TRUNCATED DOMES	SQ FT	32	32
25	2531.618	TRUNCATED DOMES (30" RADIUS)	SQ FT	54	54
26	2563.601	TRAFFIC CONTROL	LUMP SUM	1	1
27	2564.602	FURNISH SIGN POSTS	EACH	5	5
28	2564.602	INSTALL SIGN (SALVAGED)	EACH	5	5
29	2565.616	PEDESTRIAN CROSSWALK FLASHER SYSTEM	SYSTEM	1	1
30	2573.540	STORM DRAIN INLET PROTECTION	EACH	1	1
31	2573.540	FILTER LOG TYPE STRAIN BASKET (6"-7")	LN FT	25	25
32	2573.520	EROSION CONTROL SUPERVISOR	LUMP SUM	1	1
33	2575.901	SEEDING	ACRE	0.1	0.1
34	2575.502	SEED MIXTURE 250	POUND	11	11
35	2575.523	EROSION CONTROL BLANKETS CATEGORY 3 (WOOD FIBER)	SQ YD	464	464
36	2575.532	FERTILIZER TYPE 1	POUND	20	20
37	2582.502	4" SOLID LINE WHITE- EPOXY	LN FT	128	128
38	2582.502	4" SOLID LINE YELLOW- EPOXY	LN FT	18	18
39	2582.503	CROSSWALK MARKING-POLY PREFERM (TAPE)	SQ FT	342	342

(LV) DENOTES LOOSE VOLUME

I HEREBY CERTIFY THAT THE PLAN, SPECIFICATIONS OR REPORT AND FIGURES THEREON WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Jared M. Wood
 JARED M. WOOD, P.E.
 LICENSE NO. 45063 DATE 08/02/2012

EXHIBIT
 NDH
 SHP
 CDS
 JAV

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 MANWARD, MN FARGO, MN SLEEPY EYE, MN BRUNSWICK, MN
 WILLIAM, MN CHISHA, MN RANGE, MN WALSWOOD, MN
 BAKTER, MN ROCHESTER, MN AURE, IA SPENCER, IA

REV. NO. DATE
 1 8/21/2012

CITY OF ST. FRANCIS, MINNESOTA
 T.H. 47 PEDESTRIAN IMPROVEMENTS-S.A.P. 235-010-002
 STATEMENT OF ESTIMATED QUANTITIES

SHEET 2 OF 19

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CONSTRUCT STORM SEWER

LINE NO.	LOCATION	DESIGN G (LF)	CASTING ASSEMBLY - ROUND GRATE (EACH) (1)	STORM SEWER				CONNECT TO EXISTING STORM SEWER (EACH)	REMOVE SEWER PIPE (LF)	COMMENTS	LINE NO.
				18" CS PIPE CULVERT (LF)	15" CS APRON (EACH)	18" CS PIPE CULVERT (LF)	18" CS APRON (EACH)				
				1	WEST T.H. 47						
2	WEST T.H. 47	3.3	1			35	1	15	APRON 2 TO CS 1	2	
3	EAST T.H. 47			15	1			7	APRON 5 TO DIBT	3	
PROJECT TOTAL		3.3	1	51	3	35	1	40			

NOTE:
(1) FRAME NO. 801, GRADE NO. 810, CURB BOX NO. 821B.

COMMON BORROW SUMMARY

LOCATION	2105
	COMMON BORROW (LV) (CY) (2)
WEST T.H. 47	4
EAST T.H. 47	4
TOTAL	8

(2) COMMON BORROW WILL BE PLACED AS FILL MATERIAL UNDER THE NEW WALK AND IN SUBGRADE EXTENSION AREAS.

REMOVE CONCRETE / CONSTRUCT SIDEWALK & CONCRETE PAVEMENT

LINE	LOCATION	REMOVE CONCRETE (SQ YD)	6" CONCRETE WALK (SQ FT)	TRUNCATED DOWNS (SQ FT)	30" RADIUS TRUNCATED DOWNS (SQ FT)	NOTES	LINE
2	EAST T.H. 47	7	825		18		2
3	CENTER T.H. 47	43	119	39	54		3
TOTAL PROJECT		108	2070	39	54		

TOPSOIL BORROW SUMMARY

LOCATION	2105
	TOPSOIL BORROW (LV) (CY) (3)
WEST T.H. 47	3
EAST T.H. 47	3
CENTER T.H. 47	2
TOTAL	8

(3) TOPSOIL BORROW SHALL ONLY BE USED AT THE DISCRETION OF THE ENGINEER. THE CONTRACTOR SHALL STRIP AND SALVAGE ALL EXISTING TOPSOIL ENCOUNTERED ON THE PROJECT.

BITUMINOUS STREET/TRAIL -- REMOVALS & CONSTRUCTION

LINE	LOCATION	SAW BIT	REMOVE BIT	CONSTRUCT BIT PATCH - TH 47	CONSTRUCT BIT PATCH - TRAIL	LINE
		LN FT	SQ YD	SQ YD	SQ YD	
1	WEST T.H. 47	85	87	18	2	1
2	EAST T.H. 47	112	41	21	3	2
3	CENTER T.H. 47	76	38	35		3
PROJECT TOTAL		283	143	79	9	

MN/DOT STANDARD PLATES

THE FOLLOWING STANDARD PLATES, APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION, SHALL APPLY ON THIS PROJECT.

PLATE NO.	DESCRIPTION
4128F	CATCH BASIN FRAME CASTING
4149C	GRATE CASTING FOR CATCH BASIN
4181F	CURB BOX CASTING FOR CATCH BASIN
7035N	CONCRETE WALK AND CURB RETURNS AT ENTRANCES
7038A	DETECTABLE WARNING SURFACE TRUNCATED DOWNS
7100H	CONCRETE CURB AND GUTTER (DESIGN B)
800X	STANDARD BARRICADES
8112B	PEDESTAL FOUNDATION (TRAFFIC CONTROL SIGNALS)
8114A	FLUG LAMP MOUNTING BOX (AND VEHICLE LIGHT) (2 SHEETS)
8121B	TRANSFORMER CASE & POLE BASE PLATE (2 SHEETS)
8122F	PEDESTAL & PEDESTAL BASE (FOR TRAFFIC CONTROL SIGNAL SUPPORT) (2 SHEETS)
8123G	POLE & MAST ARM - LIGHTING & TRAFFIC LIGHTS ASSEMBLY (FOR ALL POLE TYPES) (2 SHEETS)
8128K	POLE FOUNDATION (P40 & P4100)

APPROVED: *JMV*
JAMES A. VOIGT, P.E.
45063
08/02/2012

ISSUED: NOV
CHECKED: SHP
DESIGNED: JMV



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Consulting Engineers & Surveyors
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WILLMAR, MN | CHASSA, MN | MANLY, MN | MAPLEWOOD, MN
MINNETONKA, MN | ROCHESTER, MN | ARES, IA | SPENCER, IA

REV. NO. DATE
1 08/21/2012

CITY OF ST. FRANCIS, MINNESOTA
T.H. 47 PEDESTRIAN IMPROVEMENTS-S.A.P. 235-010-002
TABULATIONS

TURF ESTABLISHMENT / EROSION CONTROL								
LINE	LOCATION	SEEDING	SEED TYPE	EROSION CONTROL	BIOROLL	INLET	COMMERCIAL	LINE
		(ACRE)	250 (1)	BLANKETS	(6"-7")	PROTECTION	FERTILIZER	
			(POUND)	CATEGORY 3		(EACH)	ANALYSIS (2)	
				(SQ YD)	(LIN FT)		22-5-10	
							(POUND)	
1		0.1	11	484	25	1	20	1
	PROJECT TOTAL	0.1	11	484	25	1	20	

(1) SEED MIXTURE 250 = 105 LB/ACRE
(2) FERTILIZER ANALYSIS 22-5-10 = 200 POUNDS/ACRE

CONSTRUCT STRIPING					
LINE	LOCATION	4" SOLID WHITE - EPOXY (LIN FT)	4" SOLID YELLOW - EPOXY (LIN FT)	CROSSWALK MARKING - POLY PREFORM (SQ FT)	LINE
1	T.H. 47	126	16	342	1
	TOTAL PROJECT	126	16	342	

CONSTRUCT CURB & GUTTER			
LINE	LOCATION	CONSTRUCT CURB & GUTTER DESIGN B418 (LIN FT)	LINE
1	WEST OF T.H. 47	27	1
2	EAST OF T.H. 47	52	2
3	CENTER OF T.H. 47	29	3
	TOTAL PROJECT	108	

I HEREBY CERTIFY THAT THE PLAN, SPECIFICATIONS, OR REPORT HAS BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER OR SURVEYOR IN THE STATE OF MINNESOTA.

JARED A. VOGE, P.E.
DATE 08/03/2012

NSRS
NSH
SHP
CROSS
JAV



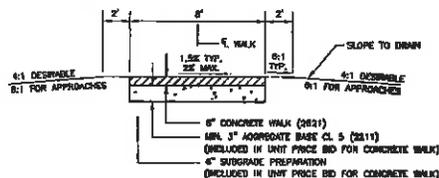
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WILLMAR, MN CHISHOMY, MN RANSEY, MN WAPLEWOOD, MN
DARTER, MN ROCHESTER, MN ASES, MN SPENCER, IA

REV.	BY	DATE
1	JAV	2/21/2012

CITY OF ST. FRANCIS, MINNESOTA
T.H. 47 PEDESTRIAN IMPROVEMENTS-S.A.P. 235-010-002
TABULATIONS

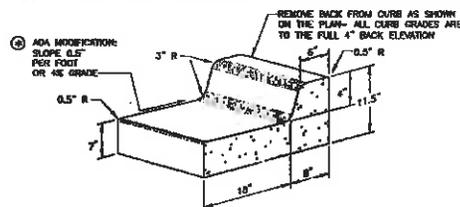
SHEET
4
OF
19

50

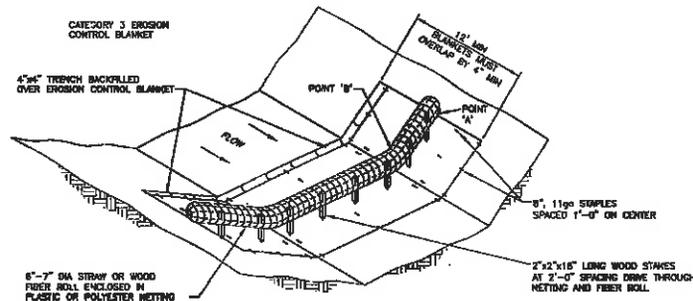


NOTE:
1. SAW CUT ALL SIDEWALK JOINTS.

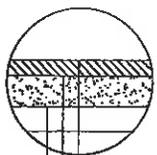
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



CONCRETE CURB & GUTTER
DESIGN B418
NOT TO SCALE

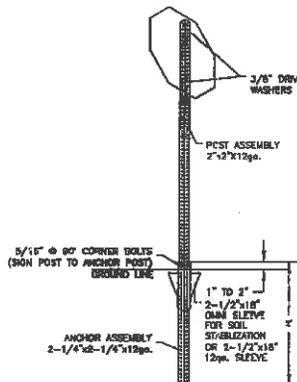


DITCH CHECK - BIROLL
NOT TO SCALE



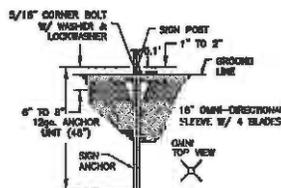
3" TYPE SP12.5 WEARING COURSE (SPW82408) (2380)
8" AGGREGATE BASE, CL. 5 (2211)
SUBGRADE PREPARATION (2112)
(INCLUDED IN UNIT PRICE BID FOR BITUMINOUS PATCH)

BITUMINOUS TRAIL SECTION
NOT TO SCALE

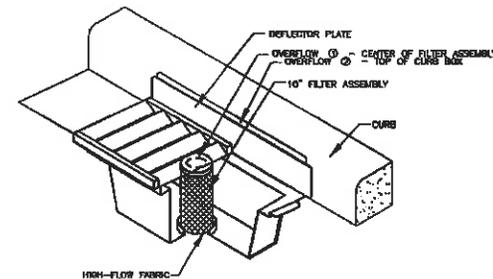


SIGN POST DETAIL
NOT TO SCALE

NOTE:
SIGNS AND INSTALLATION OF SIGNS SHALL BE IN ACCORDANCE WITH THE 2003 MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND Mn/DOT SPEC 2564 AND 3352.

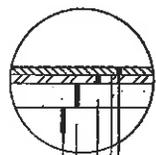


ANCHOR DETAIL
NOT TO SCALE



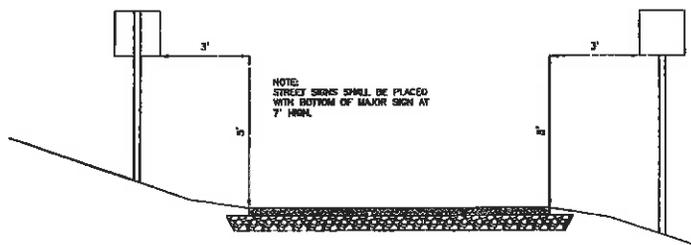
INLET PROTECTION - NEW STRUCTURE
N.T.S.

NOTE:
THIS INLET PROTECTION SHALL BE USED IMMEDIATELY FOLLOWING CURB & GUTTER CONSTRUCTION. INLET PROTECTION SHALL REMAIN INSTALLED AND MAINTAINED UNTIL TURF IS RESTORED.



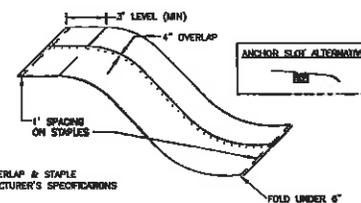
1.5" TYPE SP 12.5 WEARING COURSE (SPW82408) (2380)
BITUMINOUS TACK COAT (SPEC 2357)
3.0" TYPE SP 12.5 WEARING COURSE (SPW82408) (2380)
8" AGGREGATE BASE, CLASS 5 (SPEC 2211)
SUBGRADE PREPARATION (SPEC 2112)
(INCLUDED IN UNIT PRICE BID FOR BITUMINOUS PATCH)

BITUMINOUS PATCH - T.H. 47 (FULL DEPTH)
NOT TO SCALE



TRAIL ROUTE SIGN PLACEMENT DETAIL
NOT TO SCALE

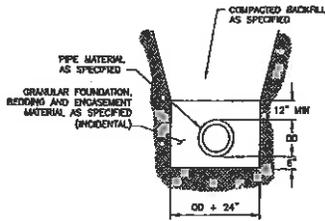
NOTE:
STREET SIGNS SHALL BE PLACED WITH BOTTOM OF SIGN AT 7" HORN.



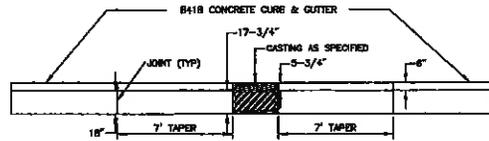
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE

NOTE:
ANCHOR, OVERLAP & STAPLE PER MANUFACTURER'S SPECIFICATIONS

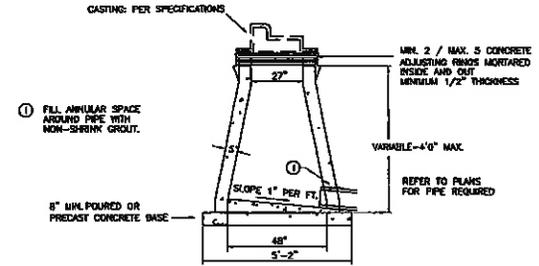
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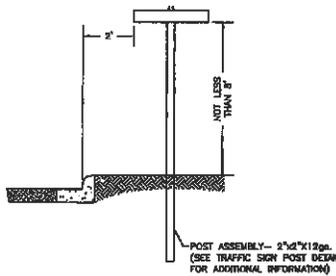
NON-RIGID STORM SEWER TRENCH
NOT TO SCALE



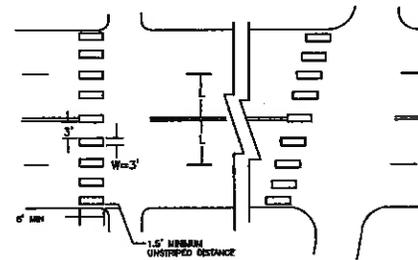
CATCH BASIN -- CURB DETAIL FOR CASTING IN B STYLE CURB
NOT TO SCALE



CATCH BASIN DESIGN G
NOT TO SCALE



STREET NAME SIGN AND POST
NOT TO SCALE



PAVEMENT MARKING DETAILS-- PEDESTRIAN CROSSWALKS
NOT TO SCALE

1. CROSSWALK MARKINGS TO BE CENTERED ON CENTERLINE AND LAKE LINES.
2. A MINIMUM OF 18 INCHES CLEAR DISTANCE SHALL BE LEFT ADJACENT TO THE CURB, IF LAST CROSSWALK BLOCK FALLS INTO THIS DISTANCE IT MUST BE OMITTED.
3. FOR DIVIDED ROADWAYS, ADJUSTMENTS IN SPACING OF THE BLOCKS SHOULD BE MADE IN THE MIDDLE SO THAT THE BLOCKS ARE HORIZONTAL IN THEIR PROPER LOCATION ACROSS THE TRAVELED PORTION OF THE ROADWAY.
4. AT SKEWED CROSSWALKS, THE BLOCKS ARE TO REMAIN PARALLEL TO THE LAKE LINES SHOWN.

CROSSWALK MARKINGS TO BE DONE IN ACCORDANCE WITH THE MOST RECENT "MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

I HEREBY CERTIFY THAT THE PLAN, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly licensed PROFESSIONAL ENGINEER within the limits of the state of MINNESOTA.

Jared Nove
JARED NOVE, P.E.
45063

DESIGNED
NDH
DWG
SWP
CHECKED
JAW



BOLTON & MENK, INC.

Consulting Engineers & Surveyors
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BAKTER, MN ROCHESTER, MN AMES, IA SPENCER, IA

REV. BY DATE
1 5/21/2012

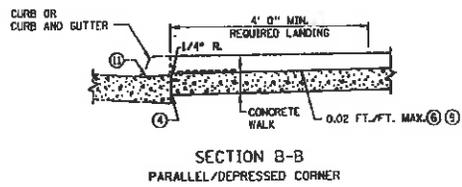
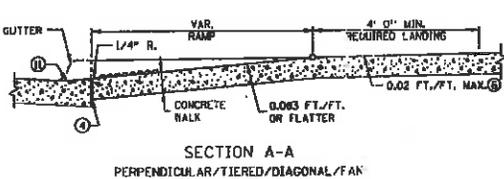
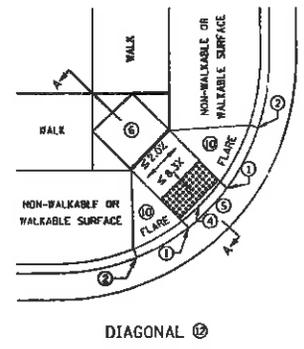
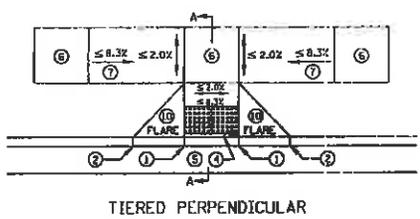
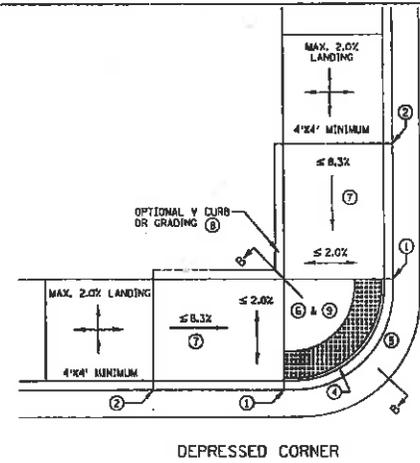
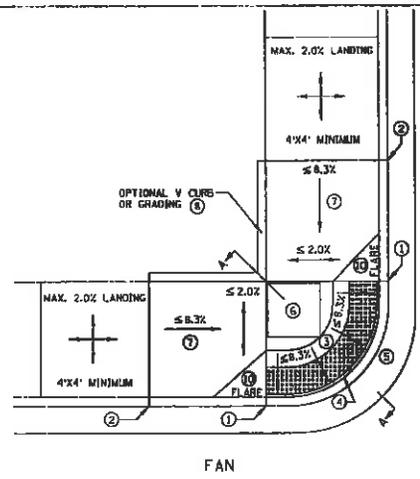
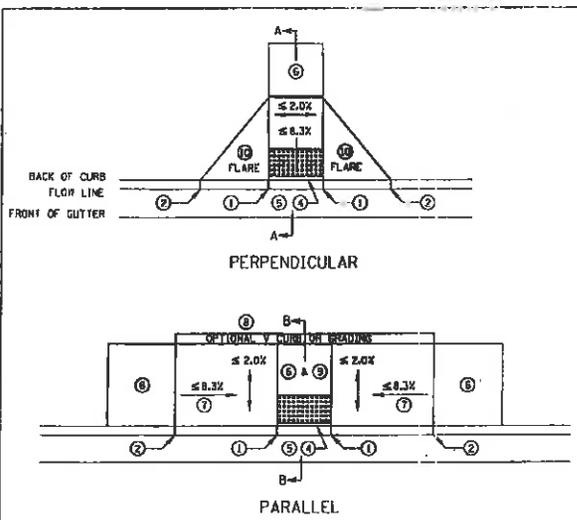
ST. FRANCIS, MINNESOTA

T.H. 47 PEDESTRIAN IMPROVEMENTS--S.A.P. 235-010-002

CONSTRUCTION DETAILS

SHEET
6
OF
19

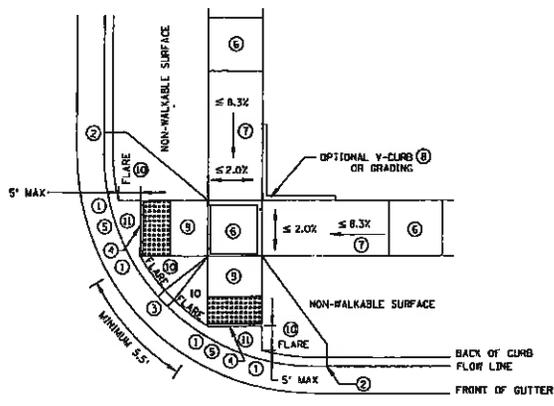
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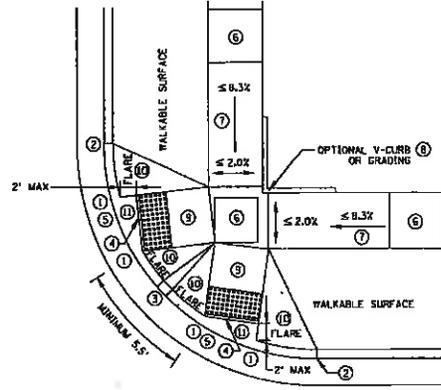
- NOTES:
- SEE STANDARD PLATE 703B AND SHEET 4 OF 5 FOR DETAILS ON DETECTABLE WARNING.
 - SLOPES ARE DEFINED AS ABSOLUTE ELEVATION DIFFERENCE PER LENGTH OF RUM, (AS OPPOSED TO A RELATIVE SLOPE WITH RESPECT TO A CURB LINE OR CURB HEIGHT.)
 - LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION, AND AT THE TOP OF RAMP THAT HAVE RUNNING SLOPES GREATER THAN 5%.
 - INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 18' FROM THE BACK OF CURB, WITH 6' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.
 - SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30' OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS 5% OR GREATER.
 - CONTRACTION JOINTS SHALL BE CONSTRUCTED AT ALL GRADE BREAKS.
 - TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.
 - CONTRACTOR SHALL EMPLOY APPROPRIATE METHODS FOR INTERMEDIATE GRADE CONTROL TO ENSURE ALL GRADE BREAKS ARE CONSTRUCTED PROPERLY.
 - ALL GRADE BREAKS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL/PEDESTRIAN ACCESS ROUTE.
 - 4' MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMP, SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CROSSES A ROAD.
 - 1 4" CURB HEIGHT.
 - 2 FULL CURB HEIGHT.
 - 3 LESS THAN 5% PREFERRED, 5-8.3% SHOULD ONLY BE USED AFTER ALL OTHER SLOPES HAVE BEEN CONSIDERED AND DEEMED IMPRACTICAL.
 - 4 1/2" PREFORMED JOINT FILLER MATERIAL AASHTO M 213. JOINT FILLER SHALL BE PLACED FLUSH WITH THE BACK OF CURB AND ADJACENT SIDEWALK. JOINT SHALL BE FREE OF DEBRIS. RECTANGULAR DETECTABLE WARNINGS SHALL BE SET BACK 3" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNINGS SHALL BE SET BACK 3"-6" FROM THE BACK OF CURB.
 - 5 SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONSTRUCTING CURB AND GUTTER AT CURB OPENINGS. SEE SHEET NO. 3 OF 5.
 - 6 4' BY 4' MIN. LANDING WITH MAX. 2% SLOPE IN ALL DIRECTIONS.
 - 7 IF RUNNING SLOPE IS LESS THAN 5.0% NO SECONDARY LANDING IS REQUIRED.
 - 8 V CURB, IF USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS. SEE SHEET 5 OF 5.
 - 9 DETECTABLE WARNINGS MAY BE PART OF 4' X 4' LANDING AREA IF IT IS NOT FEASIBLE TO CONSTRUCT THE LANDING OUTSIDE OF THE DETECTABLE WARNING AREA.
 - 10 SEE SHEET 4 OF 5, TYPICAL SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURBS.
 - 11 SEE SHEET 3 OF 5 FOR FURTHER DETAIL.
 - 12 DIAGONAL RAMPS SHOULD ONLY BE USED AFTER ALL OTHER CURB RAMP TYPES HAVE BEEN CONSIDERED AND DEEMED IMPRACTICAL.

STANDARD PLAN SHEET NO. 5-297,250 (1 OF 5)	PEDESTRIAN CURB RAMP DETAILS
STANDARD APPROVED: MAY 10, 2012	
STATE PROJ. NO. 235-010-002	(T.H. 47 PEDESTRIAN IMPROVEMENTS)

1. THESE DETAILS ARE THE PROPERTY OF BOLTON & MENK, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BOLTON & MENK, INC. 2. THESE DETAILS ARE NOT TO BE USED FOR ANY PROJECTS IN ANY STATE OR COUNTRY WITHOUT THE WRITTEN PERMISSION OF BOLTON & MENK, INC. 3. THESE DETAILS ARE NOT TO BE USED FOR ANY PROJECTS IN ANY STATE OR COUNTRY WITHOUT THE WRITTEN PERMISSION OF BOLTON & MENK, INC. 4. THESE DETAILS ARE NOT TO BE USED FOR ANY PROJECTS IN ANY STATE OR COUNTRY WITHOUT THE WRITTEN PERMISSION OF BOLTON & MENK, INC. 5. THESE DETAILS ARE NOT TO BE USED FOR ANY PROJECTS IN ANY STATE OR COUNTRY WITHOUT THE WRITTEN PERMISSION OF BOLTON & MENK, INC. 6. THESE DETAILS ARE NOT TO BE USED FOR ANY PROJECTS IN ANY STATE OR COUNTRY WITHOUT THE WRITTEN PERMISSION OF BOLTON & MENK, INC. 7. 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	DATE: 8/02/2012 DRAWN BY: JAV CHECKED BY: JAV SCALE: AS SHOWN	SHEET NO. 7 OF 19

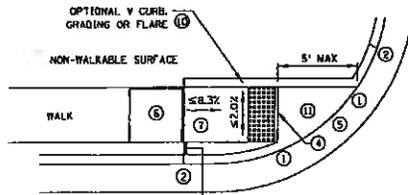


ADJACENT TO NON-WALKABLE SURFACE



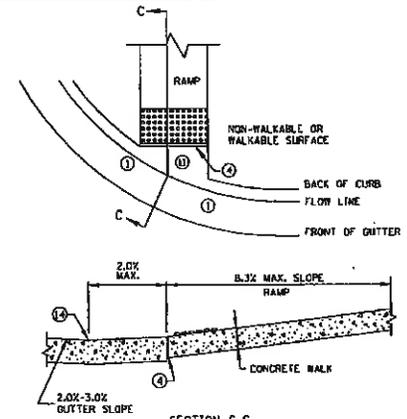
ADJACENT TO WALKABLE SURFACE

COMBINED DIRECTIONAL



IF NON-CONCRETE BLVD. IS CONSTRUCTED AND IS LESS THAN 2' IN WIDTH AT TOP OF CURB TRANSITION, PAVE CONCRETE RAMP WIDTH TO ADJACENT BACK OF CURB.

ONE-WAY DIRECTIONAL



SECTION C-C
CURB FOR DIRECTIONAL RAMPS 12

NOTES:

SEE STANDARD PLATE 7038 AND SHEET 4 OF 5 FOR DETAILS ON DETECTABLE WARNING. SLOPES ARE DEFINED AS ABSOLUTE ELEVATION DIFFERENCE PER LENGTH OF RUN. (AS OPPOSED TO A RELATIVE SLOPE WITH RESPECT TO A CURB LINE OR CURB HEIGHT.)

LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE CHANGES DIRECTION, AND AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5%. INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB, WITH 5' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE.

SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30' OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS 5% OR GREATER.

CONTRACTION JOINTS SHALL BE CONSTRUCTED AT ALL GRADE BREAKS.

TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.

USE 6" CONCRETE WALK FOR ALL INITIAL RAMP AND LANDING AREAS.

CONTRACTOR SHALL EMPLOY APPROPRIATE METHODS FOR INTERMEDIATE GRADE CONTROL TO ENSURE ALL GRADE BREAKS ARE CONSTRUCTED PROPERLY.

ALL GRADE BREAKS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL/PEDESTRIAN ACCESS ROUTE.

4" MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CROSSES A ROAD.

- 1 0" CURB HEIGHT.
- 2 FULL CURB HEIGHT.
- 3 3" MINIMUM CURB HEIGHT.
- 4 1/2" PREFORMED JOINT FILLER MATERIAL AASHTO M 213. JOINT FILLER SHALL BE PLACED FUSH WITH THE BACK OF CURB AND ADJACENT SIDEWALK. JOINT SHALL BE FREE OF DEBRIS. RECTANGULAR DETECTABLE WARNINGS SHALL BE SET BACK 3" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNINGS SHALL BE SET BACK 3"-6" FROM THE BACK OF CURB.
- 5 SEE PEDESTRIAN ACCESS ROUTE CURB AND GUTTER DETAIL FOR INFORMATION ON CONSTRUCTING CURB AND GUTTER AT CURB OPENINGS. SEE SHEET NO. 3 OF 5.
- 6 4' BY 4' MIN. LANDING WITH MAX. 2% SLOPE IN ALL DIRECTIONS.
- 7 IF RAMP SLOPE IS LESS THAN 5% NO SECONDARY LANDING IS REQUIRED.
- 8 Y CURB, IF USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS.
- 9 RUNNING SLOPE LESS THAN OR EQUAL TO 8.3% & CROSS SLOPE LESS THAN OR EQUAL TO 2%.
- 10 SEE SHEET 4 OF 5, TYPICAL SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURBS.
- 11 MAX. 2% SLOPE IN ALL DIRECTIONS IN FRONT OF GRADE BREAK AND DRAIN TO FLOW LINE. SHALL BE CONSTRUCTED INTERNAL WITH CURB AND GUTTER.
- 12 TO BE USED FOR ALL DIRECTIONAL RAMPS.
- 13 DOWNS PLACED AT THE BACK OF CURB WHEN ALLOWABLE SETBACK CRITERIA IS EXCEEDED.
- 14 ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE MAY NOT BE GREATER THAN 1/4 INCH.

STANDARD PLAN SHEET NO.
5-297.250 (2 OF 5)
STANDARD APPROVED
MAY 10, 2012

PEDESTRIAN CURB RAMP DETAILS

STATE PROJ. NO. 235-010-002 (T.H. 47 PEDESTRIAN IMPROVEMENTS)

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER OR SURVEYOR IN THE STATE OF MINNESOTA.

JAMES VOGL, P.E.
45063
DATE 8/02/2012

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MCH
DRAWN
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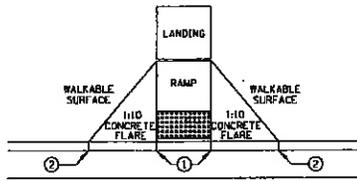
BOLTON & MENK, INC.
Consulting Engineers & Surveyors
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WILLIAM, MN CHISHA, MN WAHBEY, MN APPLEWOOD, MN
DARTER, MN ROCHESTER, MN AMES, MN SPENCER, IA

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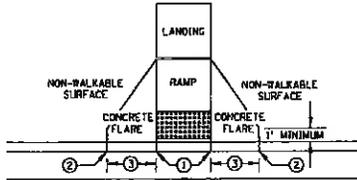
ST. FRANCIS, MINNESOTA
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PEDESTRIAN RAMP DETAILS

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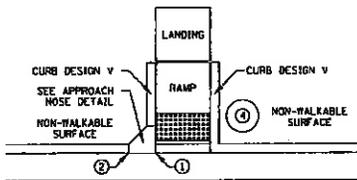
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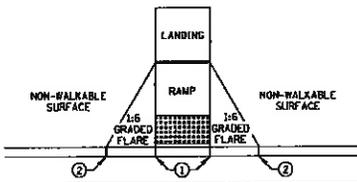
PAVED FLARES
ADJACENT TO WALKABLE SURFACE



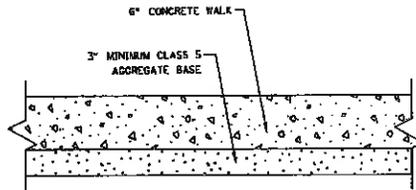
PAVED FLARES
ADJACENT TO NON-WALKABLE SURFACE



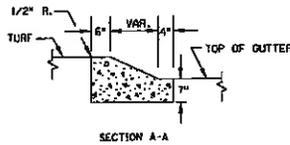
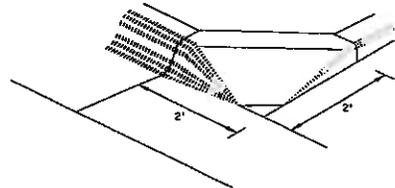
DIRECTION OF TRAFFIC
RETURNED CURB



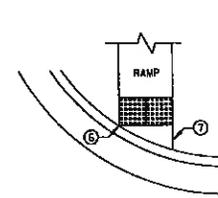
TYPICAL SIDE TREATMENT OPTIONS ③



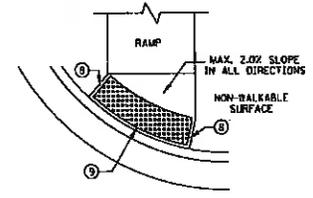
TYPICAL SIDEWALK SECTION
WITHIN INTERSECTION CORNER



APPROACH NOSE DETAIL
FOR DOWNSTREAM SIDE OF TRAFFIC



DETECTABLE WARNING
SETBACK CRITERIA



RADIAL DETECTABLE
WARNING AT RADIUS

DETECTABLE WARNING PLACEMENT

NOTES:

- SEE STANDARD PLATE 7038 AND THIS SHEET FOR DETAILS ON DETECTABLE WARNING.
- USE 6" CONCRETE WALK UP TO EXISTING SIDEWALK GRADES FOR ALL RAMP AND LANDING AREAS.
- WHETHER A SURFACE IS WALKABLE OR NOT SHALL BE DETERMINED BY THE ENGINEER.
- FLARE LENGTHS SHOULD BE LESS THAN 8' LONG MEASURED FROM THE BACK OF CURB.
- 4' MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMP. SHARED USE PATHS SHALL HAVE DETECTABLE WARNING ACROSS THE ENTIRE WIDTH OF PATH WHEN THE PATH CROSSES A ROAD.
- ① 0" CURB HEIGHT.
- ② FULL CURB HEIGHT.
- ③ 2' - 3' CONCRETE FLARE.
- ④ IMMOVABLE OBJECT OR OBSTRUCTION.
- ⑤ SIDE TREATMENTS ARE APPLICABLE TO ALL RAMP TYPES AND SHOULD BE IMPLEMENTED AS NEEDED ON ALL RAMP TYPES AS FIELD CONDITIONS DICTATE. THE ENGINEER SHALL DETERMINE THE RAMP SIDE TREATMENTS BASED ON MAINTENANCE OF BOTH ROADWAY AND SIDEWALK, ADJACENT PROPERTY CONSIDERATIONS, AND MITIGATING CONSTRUCTION IMPACTS.
- ⑥ DETECTABLE WARNING SHALL HAVE ONE CORNER 3" FROM THE BACK OF CURB.
- ⑦ SHALL BE 2' MAXIMUM OFFSET WHEN ADJACENT TO WALKABLE SURFACE AND 5' MAXIMUM OFFSET WHEN ADJACENT TO NON-WALKABLE SURFACE.
- ⑧ WHEN NO FLARES ARE PROPOSED, THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE BACK OF CURB. MAINTAIN 3" BETWEEN EDGE OF DOWNS AND EDGE OF CONCRETE.
- ⑨ DETECTABLE WARNING TO BE PLACED AT A UNIFORM OFFSET DISTANCE FROM 3' TO 6' FROM THE BACK OF CURB. IF NO CURB AND GUTTER IS PLACED IN RURAL SECTIONS, DETECTABLE WARNING SHALL BE PLACED 1' FROM THE EDGE OF ROADWAY TO PROVIDE CONCRETE BORDER.

STANDARD PLAN SHEET NO.
5-297.250 (4 OF 5)
STANDARD APPROVED
MAY 10, 2012

PEDESTRIAN CURB RAMP DETAILS

STATE PROJ. NO. 235-010-002

(T.H. 47 PEDESTRIAN IMPROVEMENTS)

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JUREL VOGEL, P.E.
8/02/2012

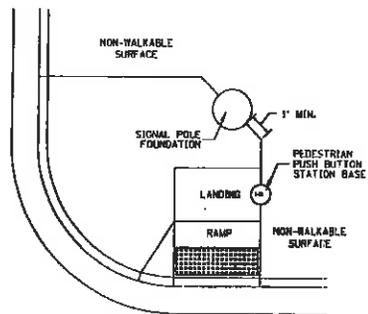
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Consulting Engineers & Surveyors
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BAXTER, MN ROCHESTER, MN ABER, IA SPENCER, IA

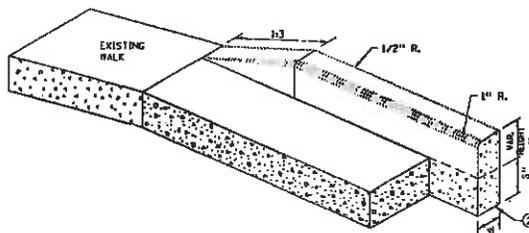
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ST. FRANCIS, MINNESOTA
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PEDESTRIAN RAMP DETAILS

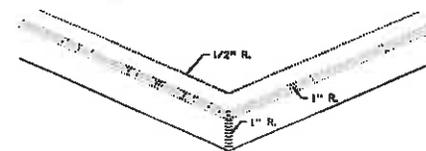
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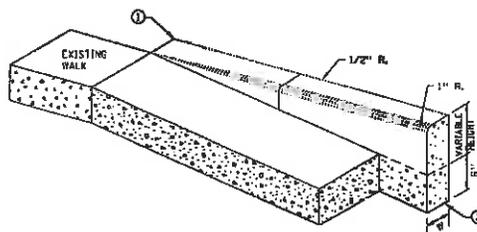
CONCRETE WALK EDGES ADJACENT TO CONCRETE STRUCTURES



V CURB ADJACENT TO LANDSCAPE
CURB WITHIN SIDEWALK LIMITS

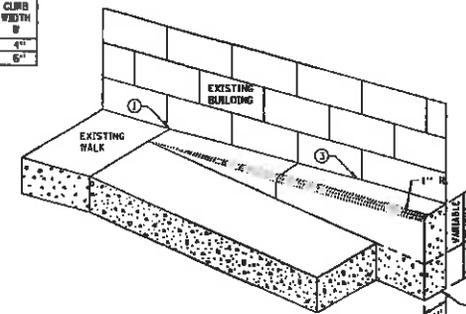


V CURB INTERSECTION

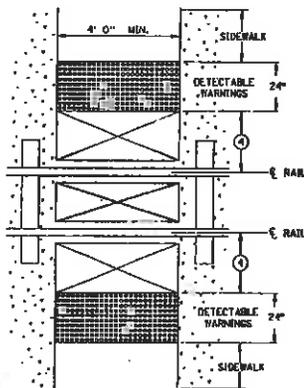


V CURB ADJACENT TO LANDSCAPE
CURB OUTSIDE SIDEWALK LIMITS

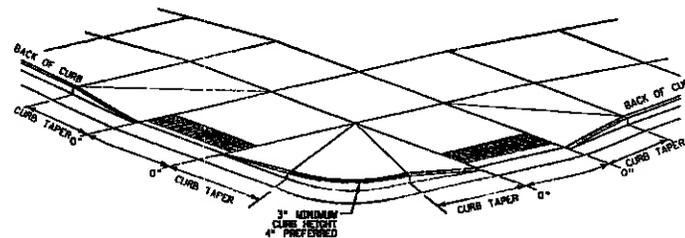
CONCRETE CURB DESIGN V	
CURB HEIGHT H	CURB WIDTH W
< 6"	4"
≥ 6"	6"



V CURB ADJACENT TO BUILDING



RAILROAD CROSSING
PLAN VIEW



DETECTABLE EDGE AT QUADRANT ③

NOTES:

- ALL V-CURB CONTRACTION JOINTS SHALL MATCH CONCRETE WALK JOINTS.
- V CURB SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS.
- V CURB NEXT TO BUILDING SHALL BE A 4" WIDTH AND SHALL MATCH PREVIOUS TOP OF SIDEWALK ELEVATIONS.
- ① END TAPERS AT TRANSITION SECTION SHALL MATCH INPLACE SIDEWALK GRADES.
- ② ALL V CURB SHALL MATCH BOTTOM OF ADJACENT WALK.
- ③ EDGE BETWEEN NEW V CURB AND INPLACE STRUCTURE SHALL BE SEALED AND BOND BREAKER SHALL BE USED BETWEEN EXISTING STRUCTURE AND PLACED V-CURB.
- ④ EDGE OF DETECTABLE WARNING SURFACES SHALL BE PLACED 6" MINIMUM TO 15" MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. WHEN PEDESTRIAN GATES ARE PROVIDED, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE SIDE OF THE GATES OPPOSITE THE RAIL.
- ⑤ ALL CONSTRUCTED CURBS MUST HAVE A CONTINUOUS DETECTABLE EDGE FOR THE VISUALLY IMPAIRED. THIS DETECTABLE EDGE REQUIRES TRUNCATED DOMES WHEREVER THERE IS ZERO-TWO INCH HIGH CURB, CURB TRANSITIONS, AND CONSIDERED A DETECTABLE EDGE WHEN THE TAPER STARTS IMMEDIATELY AT THE EDGE OF THE TRUNCATED DOMES AND UNUSUALLY RISES TO A 3 INCH MINIMUM IN HEIGHT. ANY CURB NOT PART OF A CURB TRANSITION AND LESS THAN MINIMUM IN HEIGHT IS NOT CONSIDERED A DETECTABLE EDGE AND THEREFORE IS NOT COMPLIANT WITH ACCESSIBILITY GUIDELINES.

STANDARD PLAN SHEET NO.
5-297.250 (5 OF 5)

STATE PROJ. NO. 235-010-002

PEDESTRIAN CURB RAMP DETAILS

(T.H. 47 PEDESTRIAN IMPROVEMENTS)

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

JAMES ROSE, P.E.
15083
8/02/2012

SCALE
NONE
DATE
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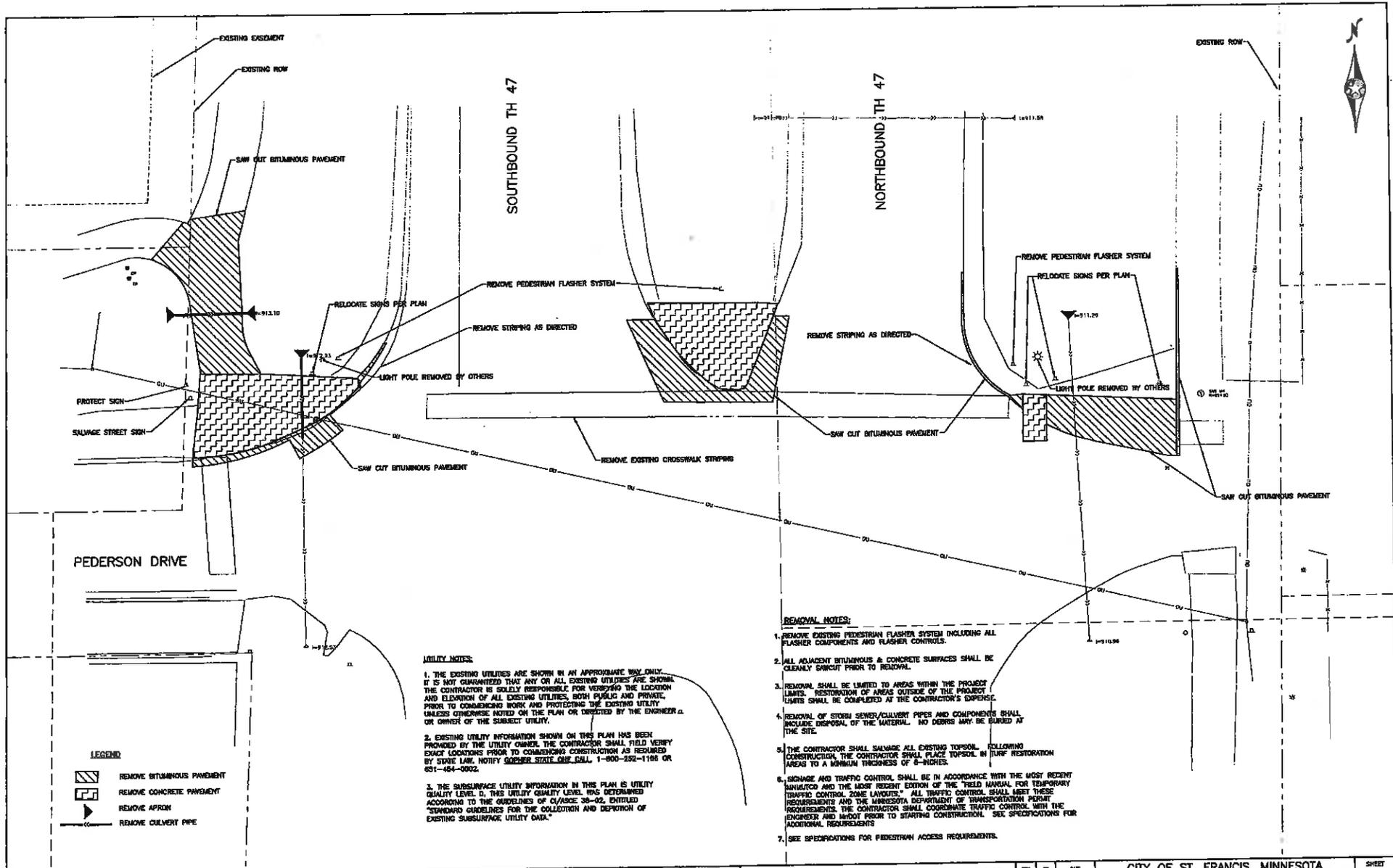
BOLTON & MENK, INC.
Consulting Engineers & Surveyors
MINNEAPOLIS, MN PHOENIX, AZ SLEEPY HOLLOW, NY BURNING WOODS, OH
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NO.	REV.	DATE

ST. FRANCIS, MINNESOTA
T.H. 47 PEDESTRIAN IMPROVEMENTS-S.A.P. 235-010-002
PEDESTRIAN RAMP DETAILS

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OF
19

116



PEDERSON DRIVE

SOUTHBOUND TH 47

NORTHBOUND TH 47

LEGEND

-  REMOVE BITUMINOUS PAVEMENT
-  REMOVE CONCRETE PAVEMENT
-  REMOVE APRON
-  REMOVE CULVERT PIPE

UTILITY NOTES:

1. THE EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. IT IS NOT GUARANTEED THAT ANY OR ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, PRIOR TO COMMENCING WORK AND PROTECTING THE EXISTING UTILITY UNLESS OTHERWISE NOTED ON THE PLAN OR DIRECTED BY THE ENGINEER OR OWNER OF THE SUBJECT UTILITY.
2. EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY SUDASER STATE ONE CALL 1-800-292-1188 OR 651-484-0002.
3. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CLAUSE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPOSITION OF EXISTING SUBSURFACE UTILITY DATA."

REMOVAL NOTES:

1. REMOVE EXISTING PEDESTRIAN FLASHER SYSTEM INCLUDING ALL FLASHER COMPONENTS AND FLASHER CONTROLS.
2. ALL ADJACENT BITUMINOUS & CONCRETE SURFACES SHALL BE CLEANLY SAWCUT PRIOR TO REMOVAL.
3. REMOVAL SHALL BE LIMITED TO AREAS WITHIN THE PROJECT LIMITS. RESTORATION OF AREAS OUTSIDE OF THE PROJECT LIMITS SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
4. REMOVAL OF STORM SEWER/CULVERT PIPES AND COMPONENTS SHALL INCLUDE DISPOSAL OF THE MATERIAL. NO DEBRIS MAY BE BURIED AT THE SITE.
5. THE CONTRACTOR SHALL SALVAGE ALL EXISTING TOPSOIL. FOLLOWING CONSTRUCTION THE CONTRACTOR SHALL PLACE TOPSOIL IN TURF RESTORATION AREAS TO A MINIMUM THICKNESS OF 8-INCHES.
6. SIGNAGE AND TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MOST RECENT MANUFCO AND THE MOST RECENT EDITION OF THE "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS." ALL TRAFFIC CONTROL SHALL MEET THESE REQUIREMENTS AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION PERMIT REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE TRAFFIC CONTROL WITH THE ENGINEER AND INMOT PRIOR TO STARTING CONSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
7. SEE SPECIFICATIONS FOR PEDESTRIAN ACCESS REQUIREMENTS.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS OR DRAWING WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

JAMES WOOD, P.E.
 62003 DATE 05/02/2012

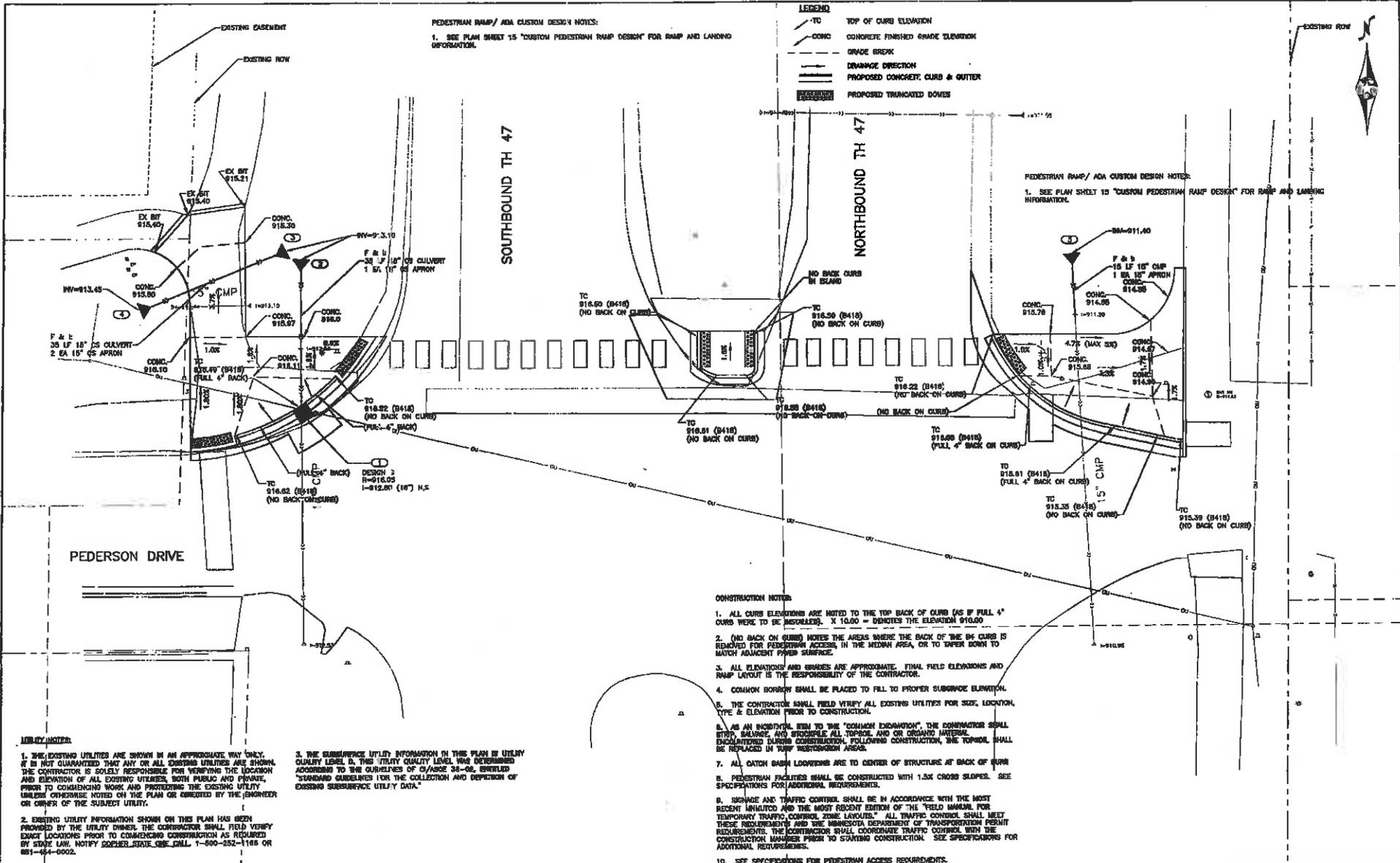
BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 MINNETONKA, MN FARGO, MN SLEEPY EYE, MN BRUSHVILLE, MN
 WILMAR, MN CHASKA, MN RANNEY, MN MAPLEWOOD, MN
 BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA

REV.	BY	DATE
1	JM	5/21/2012

CITY OF ST. FRANCIS, MINNESOTA
 T.H. 47 PEDESTRIAN IMPROVEMENTS—S.A.P. 235-010-002
REMOVAL PLAN

SHEET 12 OF 19

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PEDESTRIAN RAMP/ ADA CUSTOM DESIGN NOTES:
 1. SEE PLAN SHEET 15 "CUSTOM PEDESTRIAN RAMP DESIGN" FOR RAMP AND LANDING INFORMATION.

PEDESTRIAN RAMP/ ADA CUSTOM DESIGN NOTES:
 1. SEE PLAN SHEET 15 "CUSTOM PEDESTRIAN RAMP DESIGN" FOR RAMP AND LANDING INFORMATION.

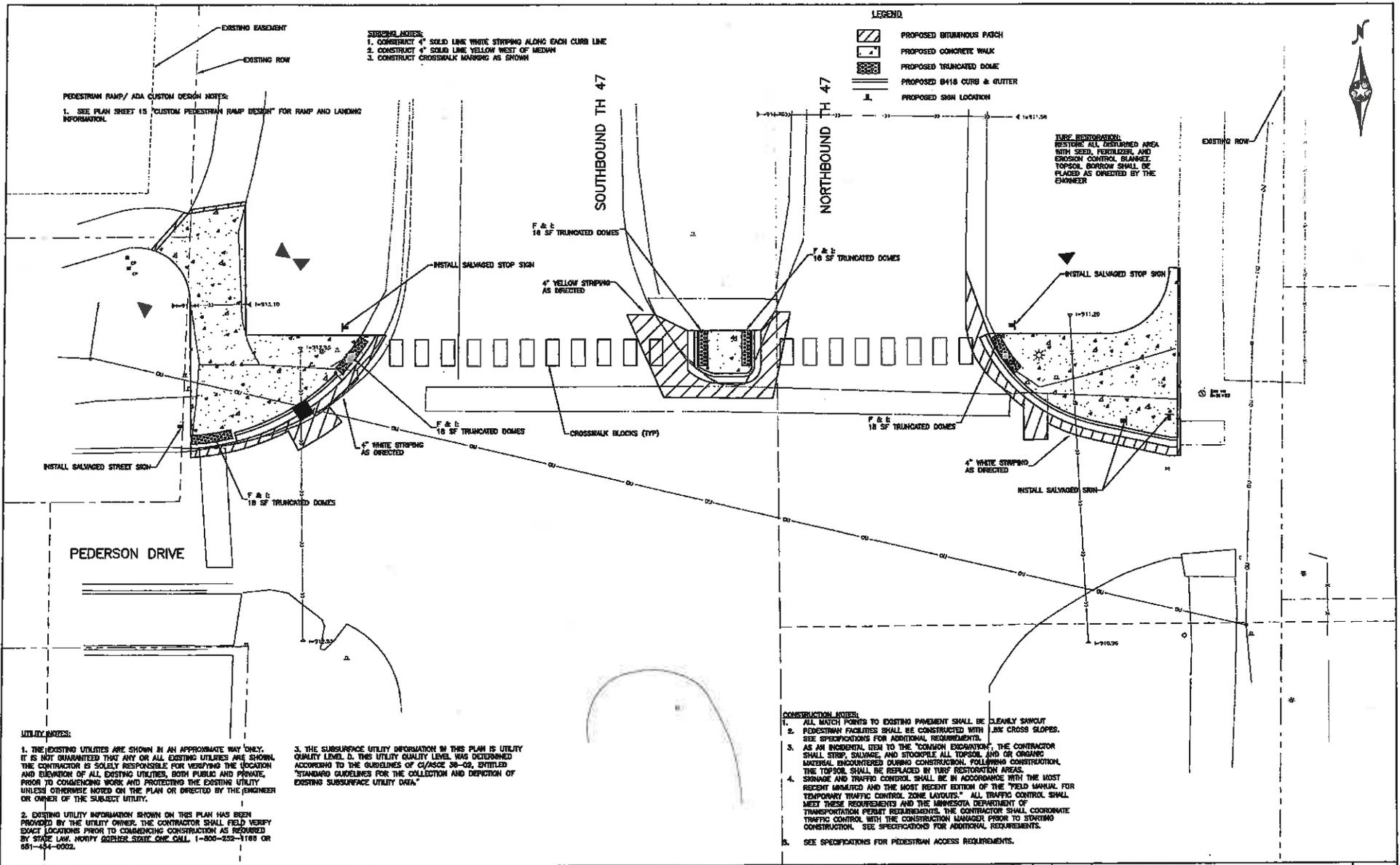
- LEGEND**
- TC TOP OF CURB ELEVATION
 - CONC CONCRETE FINISHED GRADE ELEVATION
 - GRADE BREAK
 - DRAINAGE DIRECTION
 - PROPOSED CONCRETE CURB & GUTTER
 - PROPOSED TRUNCATED DOWNS

- UTILITY NOTES:**
1. THE EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. IT IS NOT GUARANTEED THAT ANY OR ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, PRIOR TO COMMENCING WORK AND PROTECTING THE EXISTING UTILITIES UNLESS OTHERWISE NOTED ON THE PLAN OR ORDERED BY THE ENGINEER OR OWNER OF THE SUBJECT UTILITY.
 2. EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNERS. THE CONTRACTOR SHALL FIELD VERIFY EXIST LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY COOPER STATE, CALL 1-800-252-1188 OR 661-44-0002.
 3. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL HAS DETERMINED ACCORDING TO THE GUIDELINES OF G/NOE 34-06, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND REPORTING OF EXISTING SUBSURFACE UTILITY DATA."

- CONSTRUCTION NOTES:**
1. ALL CURB ELEVATIONS ARE NOTED TO THE TOP BACK OF CURB (AS IF FULL 4" CURB WERE TO BE INSTALLED). X 10.00 = DENOTES THE ELEVATION 910.00
 2. (NO BACK ON CURB) NOTES THE AREAS WHERE THE BACK OF THE 6" CURB IS REMOVED FOR PEDESTRIAN ACCESS, IN THE MEDIAN AREA, OR TO TAPER DOWN TO MATCH ADJACENT PAVED SURFACE.
 3. ALL ELEVATIONS AND GRADES ARE APPROXIMATE. FINAL FIELD ELEVATIONS AND RAMP LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 4. COMMON BORROW SHALL BE PLACED TO FILL TO PROPER SUBSURFACE ELEVATION.
 5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES FOR SIZE, LOCATION, TYPE & ELEVATION PRIOR TO CONSTRUCTION.
 6. AS AN INCIDENTAL ITEM TO THE "COMMON EXCAVATION", THE CONTRACTOR SHALL STOP, REMOVE, AND STABILIZE ALL TOPSOIL AND OR GRASS INTEREST.
 7. ALL CATCH BASIN LOCATIONS ARE TO CENTER OF STRUCTURE AT BACK OF CURB.
 8. PEDESTRIAN FACILITIES SHALL BE CONSTRUCTED WITH 1.5% CROSS SLOPE. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 9. SIGNAGE AND TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MOST RECENT MINNACOD AND THE MOST RECENT EDITION OF THE "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS." ALL TRAFFIC CONTROL SHALL MEET THESE REQUIREMENTS AND THE MINNESOTA DEPARTMENT OF TRANSPORTATION PERMIT REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE TRAFFIC CONTROL WITH THE CONSTRUCTION MANAGER PRIOR TO STARTING CONSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 10. SEE SPECIFICATIONS FOR PEDESTRIAN ACCESS REQUIREMENTS.

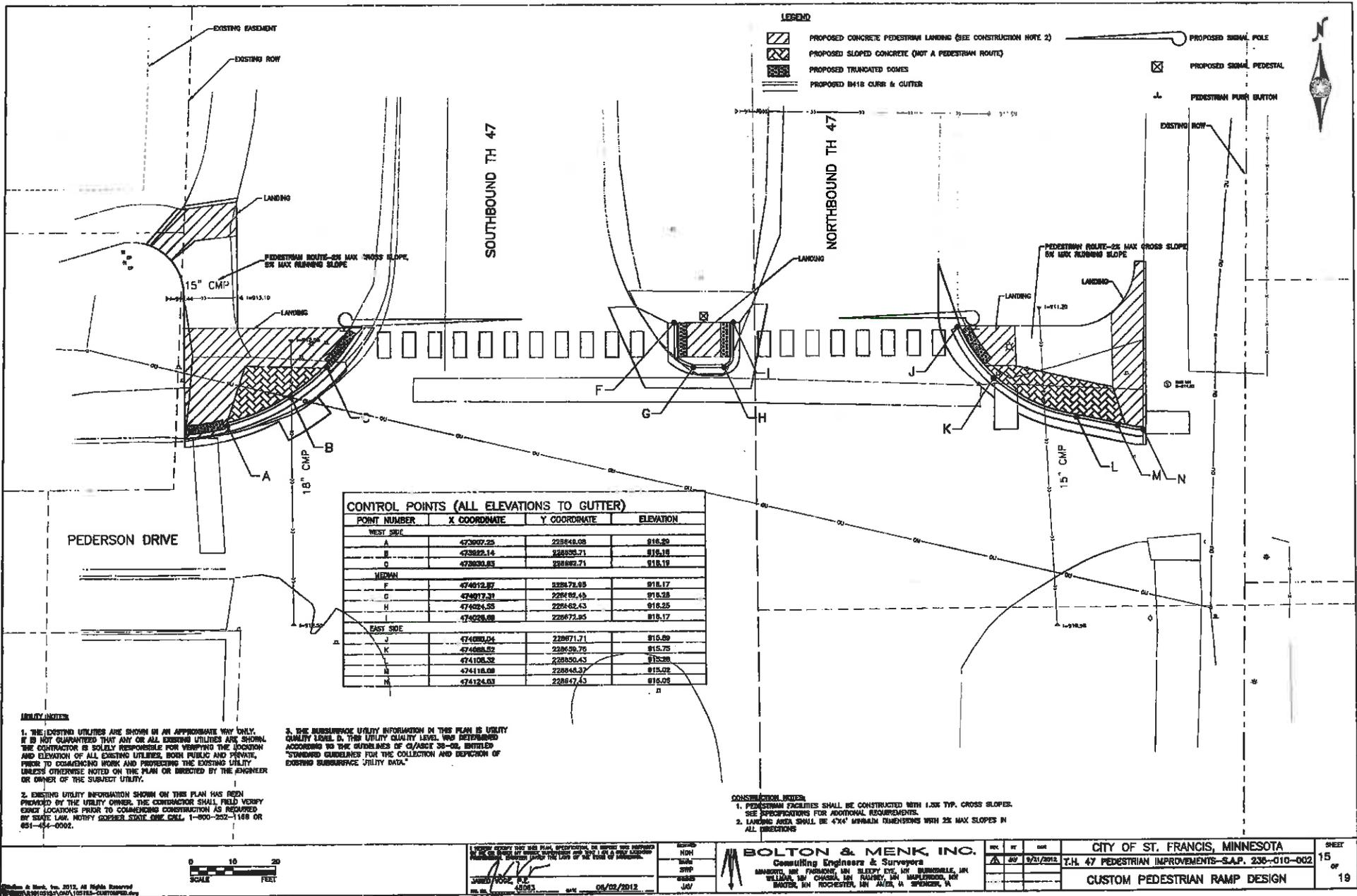
<p>0 10 20 SCALE FEET</p>	<p>BOLTON & MENK, INC. Consulting Engineers & Surveyors 1500 W. PARKWAY, SUITE 100, SLEEPY HOLE, MN 55050, MN 1000 W. CHURCH, SUITE 100, SLEEPY HOLE, MN 55050, MN 1000 W. CHURCH, SUITE 100, SLEEPY HOLE, MN 55050, MN</p>	<p>CITY OF ST. FRANCIS, MINNESOTA T.N. 47 PEDESTRIAN IMPROVEMENTS-S.A.P. 235-010-002</p>	<p>SHEET 13 OF 19</p>
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48



1. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, OR REPORT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. JARED NORG, P.E. 49063 DATE 08/02/2012	REGISTERED MINN. CIVIL ENGINEER DIVISION	BOLTON & MENK, INC. Consulting Engineers & Surveyors MINNETONKA, MN FARGO, MN SLEEPY HOLLOW, MN SHERBURNIE, MN WILLMAR, MN OMAHA, MN ANNANDALE, MN WATSON, MN BAKERSFIELD, MN ROCHESTER, MN ARES, IA SPENCER, IA	NO. 101	DATE 8/2/2012	CITY OF ST. FRANCIS, MINNESOTA T.H. 47 PEDESTRIAN IMPROVEMENTS—S.A.P. 235-010-002	SHEET 14 OF 19
			SURFACING PLAN			

49



LEGEND

-  PROPOSED CONCRETE PEDESTRIAN PAVING (SEE CONSTRUCTION NOTE 2)
-  PROPOSED SLOPED CONCRETE (NOT A PEDESTRIAN ROUTE)
-  PROPOSED TRUNCATED DOMES
-  PROPOSED 8x18 CURB & GUTTER
-  PROPOSED SIGNAL POLE
-  PROPOSED SIGNAL PEDESTAL
-  PEDESTRIAN PUSH BUTTON

CONTROL POINTS (ALL ELEVATIONS TO GUTTER)

POINT NUMBER	X COORDINATE	Y COORDINATE	ELEVATION
WEST SIDE			
A	473007.25	228848.08	816.20
B	473022.14	228853.71	816.19
C	473030.83	228862.71	816.19
MIDWAY			
F	474012.97	228872.83	816.17
G	474017.31	228885.45	816.28
H	474024.33	228882.43	816.25
EAST SIDE			
J	474080.04	228871.71	816.09
K	474088.52	228859.76	815.75
L	474106.32	228850.43	815.88
M	474118.08	228844.57	815.02
N	474124.03	228847.43	815.02

- UTILITY NOTES**
1. THE EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. IT IS NOT GUARANTEED THAT ANY OR ALL EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, PRIOR TO COMMENCING WORK AND PROTECTING THE EXISTING UTILITY UNLESS OTHERWISE NOTED ON THE PLAN OR DIRECTED BY THE ENGINEER OR OWNER OF THE SUBJECT UTILITY.
 2. EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXIST LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GUYER STATE ENG. CALL 1-800-252-1188 OR 651-44-2002.
 3. THE SURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL B. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE STANDARDS OF CARE SET 30-08, INTD 159 "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

- CONSTRUCTION NOTES**
1. PEDESTRIAN FACILITIES SHALL BE CONSTRUCTED WITH 1.0% TYP. CROSS SLOPES. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 2. LANDING AREA SHALL BE 4'x4' MINIMUM DIMENSIONS WITH 2% MAX SLOPES IN ALL DIRECTIONS.



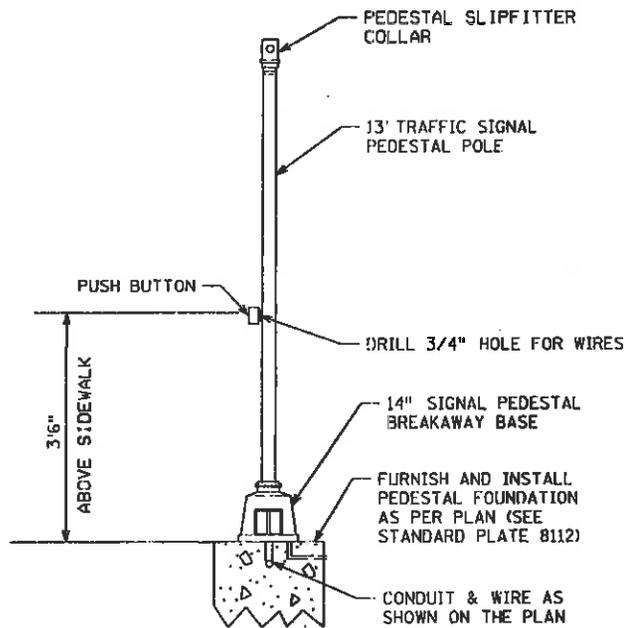
1. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A duly Licensed Professional Engineer in the State of Minnesota.

[Signature]
 JAMES W. ROSE, P.E.
 No. 42063 exp. 08/02/2012

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 MANASSAS, VA FARMINGDALE, NY SLEEPY HOLLOW, NY HUNTSVILLE, TN
 WILLIAMSBURG, VA CHASSA, IN NURSERY, IN MAPLEWOOD, MI
 BOSTON, IN ROCHESTER, IN ALFES, VA SPONGER, VA

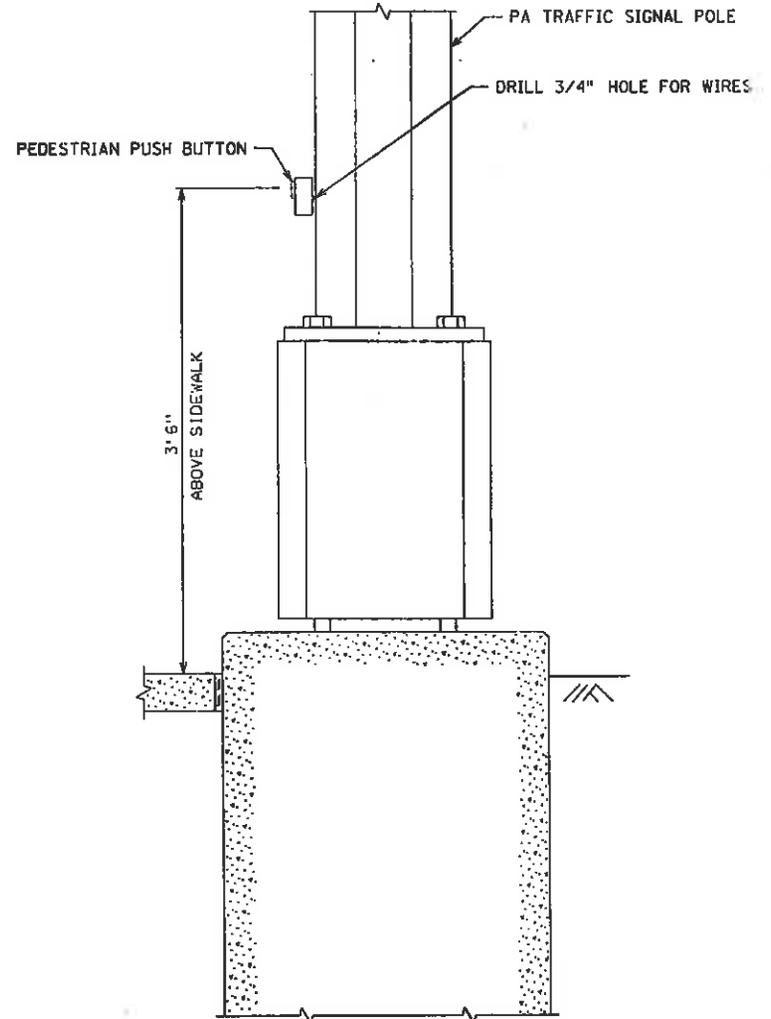
CITY OF ST. FRANCIS, MINNESOTA
 T.H. 47 PEDESTRIAN IMPROVEMENTS-S.A.P. 236-010-002
 CUSTOM PEDESTRIAN RAMP DESIGN

SHEET 15 of 19



TRAFFIC SIGNAL PEDESTAL POLE STATION

NOT TO SCALE



PEDESTRIAN BUTTON POLE STATION

NOT TO SCALE

PEDESTRIAN BUTTON DETAIL

I HEREBY CERTIFY THAT THE VARIOUS SPECIFICATIONS, DIMENSIONS AND REVISIONS INDICATED ON THIS DRAWING ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE laws of the State of Minnesota.

John R. Menk
 JOHN R. MENK, P.E., PTOE
 48076 DATE 08/02/2012

REVISED
 JOB
 DRAWN
 CHECKED
 DATE



BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 MINNETONKA, MN FARGO, MN SLEEPY HOLLOW, MN RUMSBURG, MN
 WILBUR, MN CHASBA, MN TRACY, MN WAKARUSA, MN
 BAYTER, MN ROCHESTER, MN AMES, MN SPENCER, IA

REV.	BY	DATE
1	JRM	08/21/2012

CITY OF ST. FRANCIS, MINNESOTA
 T.H. 47 PEDESTRIAN IMPROVEMENTS - S.A.P. 235-010-002
 RRFB SYSTEM DETAILS

SHEET
 17
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 19

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 4/3/13 PM

John R. Menk
 8/24/2012

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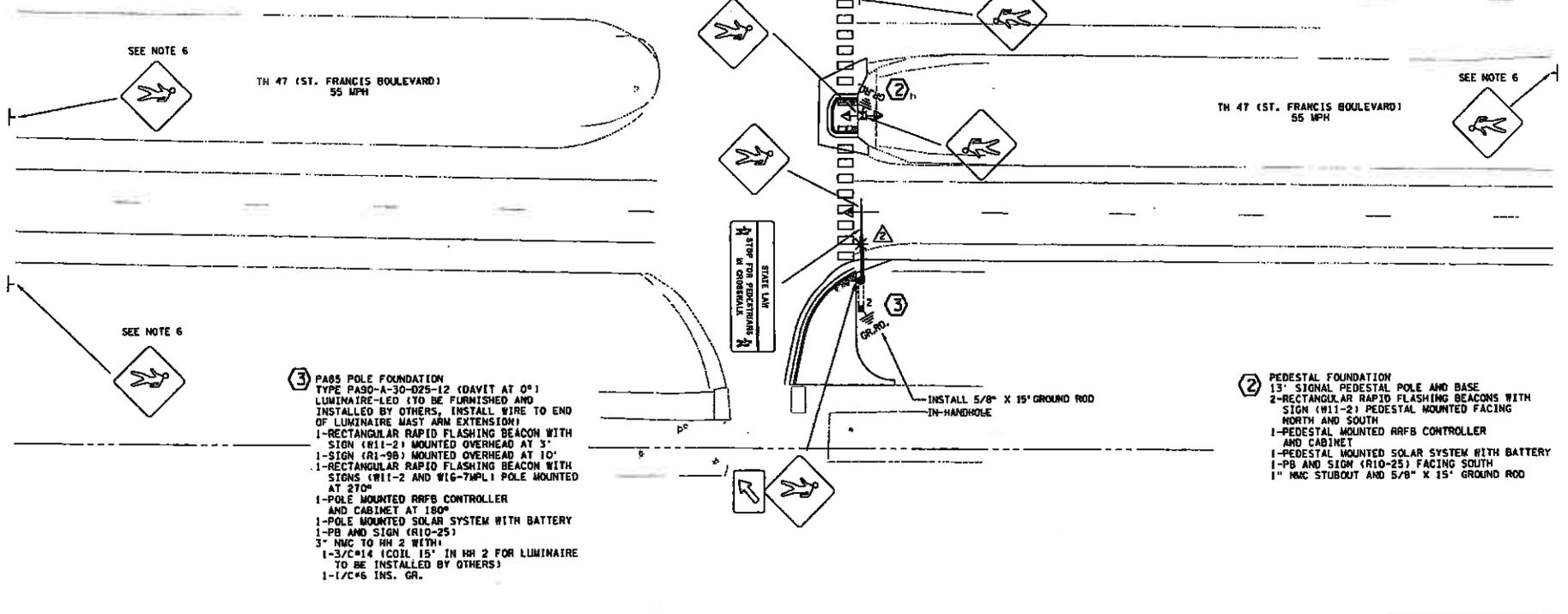
52

NOTES:

1. SEE SPECIAL PROVISIONS FOR STATE FURNISHED MATERIALS.
2. THE EXACT LOCATION OF HANDHOLES, POLES, AND PEDESTRIAN CURB RAMP SHALL BE DETERMINED IN THE FIELD BY THE ENGINEER.
3. HANDHOLES SHALL BE PVC WITH METAL FRAMES AND COVERS.
4. THE FLASHERS FOR THIS SYSTEM SHALL BE RECTANGULAR RAPID FLASHING BEACONS (RRFB). SEE SPECIAL PROVISIONS FOR RRFB UNIT DETAILS.
5. THE RRFB SYSTEM CONTROLLERS SHALL BE CAPABLE OF WIRELESS COMMUNICATION BETWEEN CONTROLLERS TO PROVIDE A WIRELESSLY INTERCONNECTED SYSTEM.
6. THE W11-2 ADVANCED WARNING SIGNS ALONG TH 47 FOR THE INPLACE PEDESTRIAN FLASHER SYSTEM (2 FOR NB AND 2 FOR SB) SHALL BE RELOCATED TO COMPLY WITH THE ADVANCED PLACEMENT DISTANCES OUTLINED IN THE 2011 MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THIS SHALL BE INCIDENTAL TO THE FLASHER SYSTEM.
7. ALL SIGNS REQUIRED FOR THE RECTANGULAR RAPID FLASHING BEACON SYSTEM ARE INCIDENTAL.
8. MOUNTING HEIGHTS FOR ALL SIGNS AND DEVICES SHALL COMPLY WITH THE 2011 MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
9. FOR STRUCTURAL DETAILS OF MAST ARM MOUNTED SIGNS SEE MNDOT STANDARD SIGNS MANUAL, PAGE 105A.
10. FOR PAVEMENT MARKINGS SEE CONSTRUCTION PLAN.
11. FOR CONSTRUCTION OF PEDESTRIAN CURB RAMP SEE CONSTRUCTION PLAN.
12. THIS PLAN SPECIFIES CONDUIT SIZES, TYPES, AND GENERAL LOCATIONS. THE EXACT LOCATIONS WILL BE DETERMINED IN THE FIELD.
13. ALL NEW CONDUIT SHALL BE PVC - SCHEDULE 80 OR HDPE SCHEDULE 80 AND SHALL CARRY 1/2" C#6 GREEN INSULATED GROUNDING CONDUCTOR AS SHOWN IN THE PLAN.
14. THE LED LUMINAIRE WILL BE INSTALLED BY OTHERS. A 3/4" C#14 CABLE SHALL BE INSTALLED FROM THE END OF THE LUMINAIRE MAST ARMS TO THE NEAREST HANDHOLES. 15' OF CABLE SHALL BE COILED IN THE HANDHOLES.
15. EXTRA WIRE FOR THE MAST ARM MOUNTED RECTANGULAR RAPID FLASHING BEACONS SHALL BE COILED IN THE MAST ARMS TO ALLOW FOR THE BEACONS TO BE MOVED TO THE ENDS OF THE MAST ARMS IN THE FUTURE.

- ① PASO POLE FOUNDATION
 TYPE PASO-A-40-D25-12 (DAVIT AT 0°)
 LUMINAIRE-LED (TO BE FURNISHED AND
 INSTALLED BY OTHERS. INSTALL WIRE TO END
 OF LUMINAIRE MAST ARM EXTENSION)
 1-RECTANGULAR RAPID FLASHING BEACON WITH
 SIGN (W11-2) MOUNTED OVERHEAD AT 3'
 1-SIGN (R1-9B) MOUNTED OVERHEAD AT 9.5'
 1-RECTANGULAR RAPID FLASHING BEACON WITH
 SIGNS (W11-2 AND W16-TMPL) POLE MOUNTED
 AT 270°
 1-POLE MOUNTED RRFB CONTROLLER
 AND CABINET AT 180°
 1-POLE MOUNTED SOLAR SYSTEM WITH BATTERY
 1-PB AND SIGN (R10-25)
 3" NMC TO MH 1 WITH
 1-3/4" C#14 (COIL 15' IN MH 1 FOR LUMINAIRE
 TO BE INSTALLED BY OTHERS)
 1-1/2" C#6 INS. GR.

SEE NOTE 6



SEE NOTE 6

TH 47 (ST. FRANCIS BOULEVARD)
 55 MPH

TH 47 (ST. FRANCIS BOULEVARD)
 55 MPH

SEE NOTE 6

SEE NOTE 6

- ③ PAB5 POLE FOUNDATION
 TYPE PAB5-A-30-D25-12 (DAVIT AT 0°)
 LUMINAIRE-LED (TO BE FURNISHED AND
 INSTALLED BY OTHERS. INSTALL WIRE TO END
 OF LUMINAIRE MAST ARM EXTENSION)
 1-RECTANGULAR RAPID FLASHING BEACON WITH
 SIGN (W11-2) MOUNTED OVERHEAD AT 3'
 1-SIGN (R1-9B) MOUNTED OVERHEAD AT 10'
 1-RECTANGULAR RAPID FLASHING BEACON WITH
 SIGNS (W11-2 AND W16-TMPL) POLE MOUNTED
 AT 270°
 1-POLE MOUNTED RRFB CONTROLLER
 AND CABINET AT 180°
 1-POLE MOUNTED SOLAR SYSTEM WITH BATTERY
 1-PB AND SIGN (R10-25)
 3" NMC TO MH 2 WITH
 1-3/4" C#14 (COIL 15' IN MH 2 FOR LUMINAIRE
 TO BE INSTALLED BY OTHERS)
 1-1/2" C#6 INS. GR.

- ② PEDESTAL FOUNDATION
 13" STONAL PEDESTAL POLE AND BASE
 2-RECTANGULAR RAPID FLASHING BEACONS WITH
 SIGN (W11-2) PEDESTAL MOUNTED FACING
 NORTH AND SOUTH
 1-PEDESTAL MOUNTED RRFB CONTROLLER
 AND CABINET
 1-PEDESTAL MOUNTED SOLAR SYSTEM WITH BATTERY
 1-PB AND SIGN (R10-25) FACING SOUTH
 1" NMC STUBOUT AND 5/8" X 15' GROUND ROD



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR DRAWING WAS PREPARED
 BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED
 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

John B. Witt
 JOHN B. WITT, P.E., PTCOE
 No. 49076 MINN 06/02/2012

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 WANKATO, MN FARGO, MN SLEEPY EYE, MN BURNSVILLE, MN
 WELLMAR, MN CHASKA, MN RANSEY, MN MAPLEWOOD, MN
 BASTED, MN ROCKVILLE, MN AEREA, MN SPENCER, IA

NO.	BY	DATE
1	JBW	06/21/2012

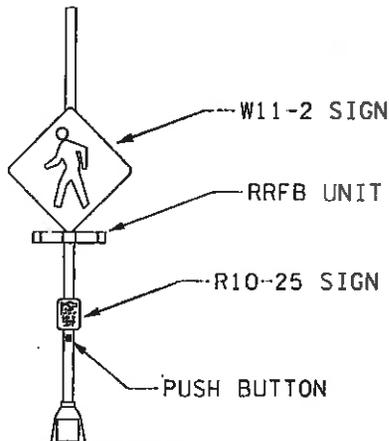
CITY OF ST. FRANCIS, MINNESOTA
 T.H. 47 PEDESTRIAN IMPROVEMENTS - S.A.P. 235-010-002
 RRFB SYSTEM LAYOUT

SHEET
 18
 OF
 19

johnb 9/24/2012 pdf-8 and w.plotted 4:34:15 PM dmi.tbi

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TRAFFIC SIGNAL PEDESTAL MOUNTING



W11-2 SIGN

RRFB UNIT

R1-9B SIGN

W11-2 SIGN

RRFB UNIT

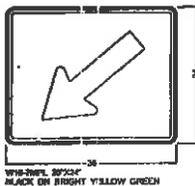
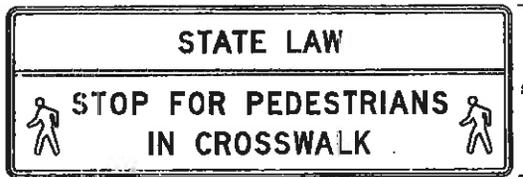
W16-7MPL SIGN

R10-25 SIGN

PUSH BUTTON

TRAFFIC SIGNAL POLE AND MAST ARM MOUNTING

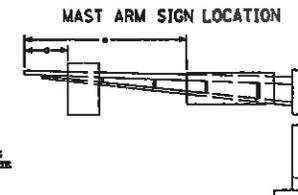
- NOTES:
 1. MOUNTING HEIGHTS FOR SIGNS SHALL COMPLY WITH THE 2011 MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 2. FOR PEDESTRIAN PUSHBUTTON MOUNTING HEIGHT SEE PEDESTRIAN BUTTON DETAIL ON SHEET 17.



SIGN NUMBER OR SIGN NO. (I.S. R10-25)	POLE NO.	H (FEET)	SIZE (INCHES)	MOUNTING BRACKET		NO. REQ.
				NUMBER	SPACING (1)	
W11-2	1	3	36 X 36	2		1
R1-9B	1	3.5	50 X 30	4		1
W11-2	3	3	36 X 36	2		1
R1-9B	3	1.0	30 X 30	4		1

SPECIFIC NOTE:
 (1) SPACING BETWEEN STRUTS SHALL NOT EXCEED 36 INCHES AND SHALL BE UNIFORMLY SPACED. SEE STANDARD SIGN MANUAL, PAGE 105A (REVISION DATE 7/6/01) FOR BRACKET SPACING REQUIREMENTS.

GENERAL NOTES:
 1. OCCURENCE OF STANDARD SIGN SYMBOLS WITH MESSAGES SHALL BE SHOWN.
 2. FOR STRUCTURAL DETAILS OF MAST ARM MOUNTED SIGNS SEE STANDARD SIGN MANUAL, PAGE 105A.
 3. FOR TYPE "D" STRUTS AND PANEL JOINT DETAILS SEE STANDARD SIGN MANUAL, PAGE 105.



JMW 9/24/2012 4:34:18 PM

I HEREBY CERTIFY THAT THE PLAN SPECIFICATIONS ON THESE AND OTHER SHEETS OF THIS SET OF CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

John B. Menk
 JOHN B. MENK, P.E., P.C.E.
 48976 DATE: 08/03/2012

BOLTON & MENK, INC.
 Consulting Engineers & Surveyors
 1400 W. FAIRMONT, 1ST FLOOR, SLEEPY EYE, MN 56080
 1000 W. CHASLER, 1ST FLOOR, WABASH, MN 56001
 1000 W. RIVERVIEW, 1ST FLOOR, WABASH, MN 56001
 1000 W. RIVERVIEW, 1ST FLOOR, WABASH, MN 56001

CITY OF ST. FRANCIS, MINNESOTA
 T.J.H. 47 PEDESTRIAN IMPROVEMENTS - S.A.P. 235-010-002
 RRFB SYSTEM SIGN DETAILS

SHEET 19 OF 19

JMW

Jennifer Welling

From: Berg, Angie <Angie.Berg@co.stearns.mn.us>
Sent: Thursday, January 21, 2016 7:50 AM
To: Jennifer Welling; jeffmarb@lakedalelink.net; (donpietsch@yahoo.com)
Cc: Winskowski, Heidi
Subject: RE: MNDOT comments

Good morning, As a follow-up on this issue, MNDOT informed us that a government entity would need to apply for the pedestrian crossing permit, own it and operate it. I have an email to them asking what projected operating costs would be. If the County Board is inclined to issue the CUP with one of the conditions that the pedestrian crossing system is required to be installed at the cost of the developer, is this something the City and/or Township would be willing to consider discussing? I realize as a Board you'd have a process to follow to discuss this. I'll keep you posted as to what I hear from MNDOT.

From: Berg, Angie
Sent: Wednesday, January 20, 2016 12:18 PM
To: 'Jennifer Welling' <Jennifer@paynesvillemn.com>; 'jeffmarb@lakedalelink.net' <jeffmarb@lakedalelink.net>; (donpietsch@yahoo.com) <donpietsch@yahoo.com>
Cc: Winskowski, Heidi <Heidi.Winskowski@co.stearns.mn.us>
Subject: MNDOT comments

Good afternoon- see attached letter from MNDOT. The trail authority's letter and MNDOT's letter will be shared with the applicant and the County Board of Commissioners.

Angie Berg |Land Use Division Supervisor|angie.berg@co.stearns.mn.us
Stearns County|www.co.stearns.mn.us|320-656-3613
705 Courthouse Square, Rm 343|St. Cloud, MN 56303

fs

REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Agenda Section: Old Business

Originating Department: Administration

Item Number: VII – A

ITEM DESCRIPTION: 2016 Street Improvement Project

Prepared by: Staff

COMMENTS:

Kent Louwagie, Bolton & Menk will be in attendance to review the 2016 Street Improvement Project. Please review the attached letter and map from Chuck DeWolf regarding the project, anticipated project schedule, and comments related to the City not receiving the Clean Water Funds for the proposed storm water pond.

Please review the attached Resolution 2016-02 Approving Plans & Specifications And Ordering Advertisements For Bids.

Also for consideration is to proceed with the Purchase Option Agreement between the City of Paynesville and Savage Land Partnership, LLC to purchase the 1.5 acres in the amount of \$33,750.00 for the storm water pond.

The Public Works Committee has reviewed this and recommends approval.

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

Motion to approve Resolution 2016-02 Approving Plans & Specifications And Ordering Advertisements For Bids.

Motion to proceed with the Purchase Option Agreement between the City of Paynesville and Savage Land Partnership, LLC to purchase the 1.5 acres in the amount of \$33,750.00 for the storm water pond.



BOLTON & MENK, INC.

Consulting Engineers & Surveyors

2040 Hwy 12 East • Willmar, MN 56201-5818

Phone (320) 231-3956 • Fax (320) 231-9710

www.bolton-menk.com

MEMORANDUM

Date: January 18, 2016

To: Honorable Mayor Thompson and Members of the City Council
City of Paynesville

From: Chuck DeWolf, P.E., City Engineer
Bolton & Menk, Inc.

Subject: 2016 Improvement Project
City of Paynesville, Minnesota

The construction plans for the 2016 Improvement Project are complete and the project is ready to be advertised for bids. As the Council may recall, the proposed project consists of reconstructing the following streets and utilities:

- Lake Avenue: Realignment from the Washburne Avenue railroad crossing to the Crow River bridge
- Minnie Street: Lake Avenue to Industrial Loop West

The project also includes mill and overlay improvements along the following streets:

- Main Street: Business 23 to TH 55
- First Street: Alldon Park Drive to Lake Avenue
- Stearns Avenue: First Street to Business 23
- Mill Street: Maple Street to Lake Avenue

If the Council wishes to move forward with the project, the following is the anticipated project schedule:

- January 25, 2016 – City Council Approves Plans and Orders Advertisement for Bids
- February 3, 2016 – Advertise for Bids
- February 24, 2016 – Open Bids (11:00 a.m.)

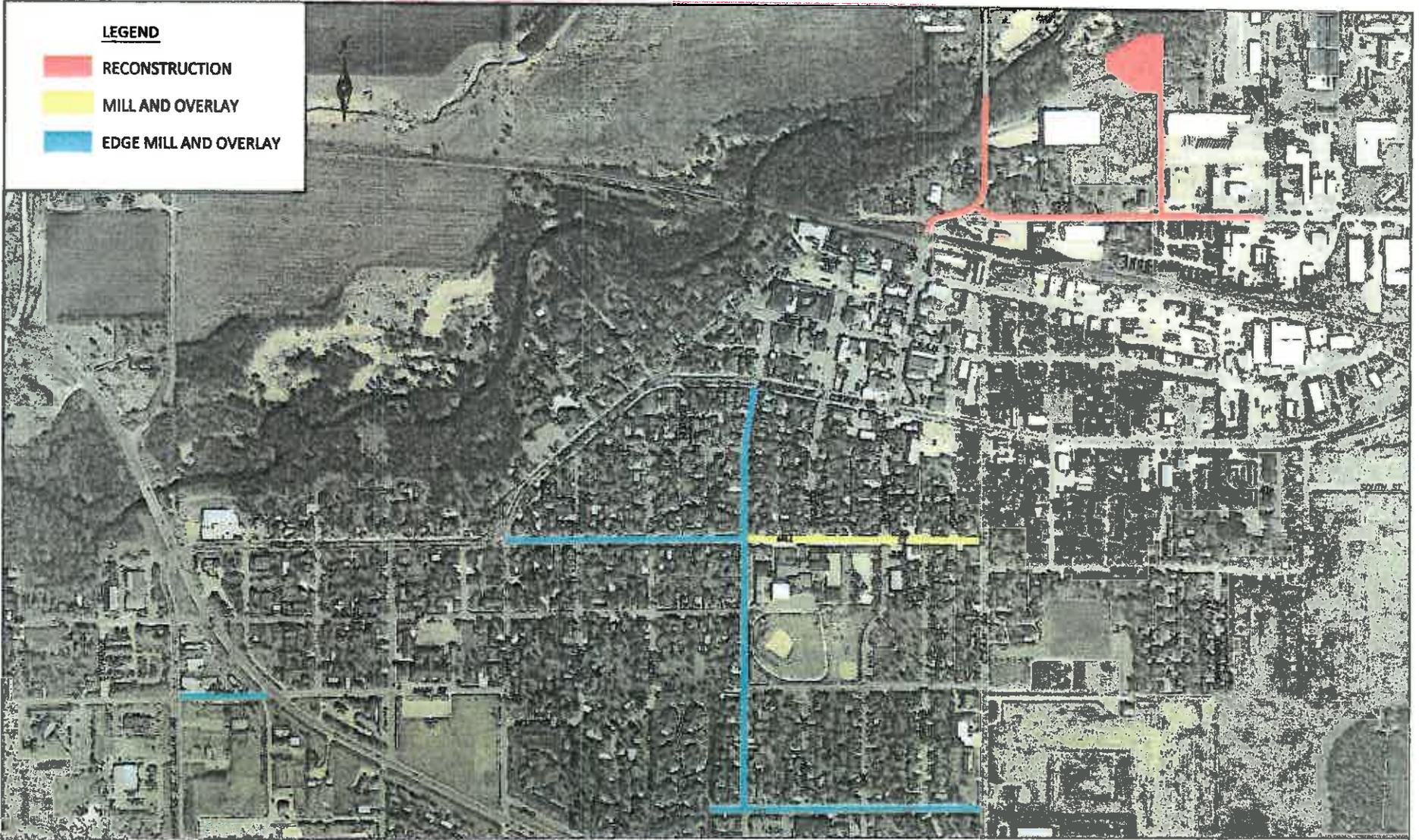
In addition, we were notified that our grant application for the proposed storm water pond that is included in the 2016 Improvement Project was not successful. We have applied for Clean Water funds for this project multiple times and have met with BWSR and the Stearns County Soil & Water Conservation District on numerous occasions to discuss and review our application in hopes that it would increase our potential to obtain funding. The project has always ranked fairly well, however, unfortunately it hasn't ranked high enough to be in the fundable range based on current program funding levels.

If you have any questions or concerns, please feel free to contact me at any time.

cc: Renee Eckerly, City Administrator
Ron Mergen, Public Works Director

LEGEND

- RECONSTRUCTION
- MILL AND OVERLAY
- EDGE MILL AND OVERLAY



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H:\Paym\14107598\CAD\Concepts-Display\Project Layout.dwg 1/19/16 5:07 pm



BOLTON & MENK, INC.

Consulting Engineers & Surveyors
MANKATO, MN FARRINGTON, MN SLEEPY EYE, MN BURNSVILLE, MN
WILLMAR, MN CHASKA, MN RAMSEY, MN MAPLEWOOD, MN
BAXTER, MN ROCHESTER, MN AMES, IA SPENCER, IA

CITY OF PAYNESVILLE, MINNESOTA
2016 IMPROVEMENT PROJECT
PROJECT LOCATION

JANUARY, 2016

FIGURE NO. 1

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**RESOLUTION 2016-2
APPROVING PLANS & SPECIFICATIONS AND ORDERING
ADVERTISEMENTS FOR BIDS**

WHEREAS, pursuant to a Resolution of the City Council passed by the City Council on July 27, 2015, the City Engineer has prepared plans and specifications for the 2016 Street Improvement Project, for the proposed improvement of Minnie Street from Washburne Avenue to Industrial Loop W.; Lake Avenue from Minnie Street to the North side of the Crow River Bridge; Washburne Avenue from Railroad Street W. to Minnie Street, all by the removal of the existing road surface, curb and gutter, replacement of storm sewer, replacement of water and sewer mains and service lines as needed, the reconstruction of the streets including curb, gutter and sidewalk, and the construction of a storm water retention pond. Also, with regard to the reconstruction of these streets there will be a realignment of Lake Avenue and Washburne Avenue. In addition to the foregoing, surface milling and overlay of the existing pavement will occur on Stearns Avenue from Business 23 to First Street; Mill Street from Lake Avenue to Business 23; First Street from Lake Avenue to Alldon Park Drive; and on Main Street from Business 23 to State Hwy. 55; and has presented plans and specifications for these improvements to the Council for approval;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF PAYNESVILLE, MINNESOTA:

1) That the plans and specifications, a copy of which are attached hereto and made a part hereof, are hereby approved.

2) The City Administrator shall prepare and cause to be inserted in the official newspaper of the City of Paynesville, or a recognized industry trade journal as defined in M.S.A. §331A, Subd. 11, an advertisement for bids upon the making of such improvement under such approved plans and specifications. The advertisement shall be published at least once not less than three (3) weeks before the last day to submit bids, shall specify the work to be done, shall state that bids will be received by the City Administrator until 11:00 a.m. on the 24th day of February, 2016, at which time they will be publicly opened in Council Chambers of City Hall by the City Administrator and City Engineer, will be tabulated, and will be considered by the Council at the regular Council meeting at 6:00 p.m. on March 14, 2016, in City Council Chambers of City Hall. Receipt of bids is conditioned on the basis that the City has 90 days within which to act upon them. Any bidder whose responsibility is questioned during the consideration of bids will be given an opportunity to address the Council on the issue of responsibility. No bids will be considered unless sealed and filed with the City Administrator and accompanied by a cash deposit, cashier's check, bid bond or certified check payable to the City of Paynesville for 5% of the amount of such bid.

Adopted by the Council this 25th day of January, 2016.

Jeff Thompson, Mayor

ATTEST:

Renee Eckerly, City Administrator

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**EXTENSION OF
PURCHASE OPTION AGREEMENT**

This Agreement is made this 28th day of August, 2015, by and between Savage Land Partnership, LLC, a limited liability company (Seller), and the City of Paynesville, a Minnesota municipal corporation (Buyer).

WHEREAS, Seller is the owner of land located at 180 Lake Avenue North in the City of Paynesville, County of Stearns, State of Minnesota, legally described as follows, to-wit:

Lot One (1), Block One (1), River Park Estates, Stearns County, Minnesota; and

WHEREAS, Seller previously granted Buyer an Option to Purchase a portion of the above-premises dated September 25, 2013; and

WHEREAS, Seller wishes to grant an extension of that Option to Buyer, and Buyer wishes to acquire from Seller an extension of that original Option to Purchase 1.5 acres, more or less, of the above-described premises lying within the shore land overlay district along the North Fork of the Crow River lying within Lot 1, Block 1, River Park Estates, for purposes of constructing and maintaining a water retention pond;

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1) GRANT OF EXTENSION OF OPTION. Seller hereby grants to Buyer an exclusive extension of the right and option to purchase from Seller

property consisting of 1.5 acres, more or less, lying within the shore land overlay district along the North Fork of the Crow River within Lot 1, Block 1, River Park Estates, Stearns County, Minnesota. Seller shall neither sell, nor attempt to sell property to any third party during the term of the option, which shall be the period of time beginning from the date of this Agreement and terminating on July 1, 2016.

2) PURCHASE PRICE. If the option is exercised, Buyer shall purchase the property by making a payment to the Seller in the amount of Thirty Three Thousand Seven Hundred and Fifty Dollars (\$33,750.00) for the purchase of 1.5 acres, the exact legal description to be determined by survey. The parties will work together on the survey of the boundaries of the 1.5 acres to ensure that the lines as surveyed will not interfere with Seller's plans for future expansion. The purchase price shall be paid on the date of closing in the manner set forth below.

3) ADDITIONAL TERMS. a) It is understood and agreed by and between the parties hereto that the Buyer will be using this property for the construction of a water retention pond to provide drainage for the area, including that portion of the Seller's property not being conveyed to Buyer. The Buyer will design the water retention pond to accommodate the existing drainage system constructed by Seller to drain its property without further costs to the Seller. Part of the consideration for the Option is Seller's ability

to use this water retention pond to be constructed by Buyer for the drainage of Seller's remaining property.

b) Buyer will be responsible for all costs of closing.

4) EXERCISE OF OPTION. Buyer may exercise the option by giving the Seller, during the term of the option, of Buyer's intention to purchase the property. The option notice shall be accompanied by a check in the amount of Five Thousand Dollars (\$5,000.00) as earnest money, which shall be non-refundable, except in the event of breach by Seller under this Agreement, or Seller's inability to provide marketable title to the property, and said sum shall be applied to the purchase price on the date of closing. The earnest money shall be deposited by Seller to an account and the funds shall be retained in that account until the date of closing. The option notice shall specify as the date of purchase a date not more than 90 days from the date of delivery of the option notice, which shall then become the closing date.

5) PROPERTY. The property shall include 1.5 acres of real estate as described herein, the exact boundaries of which shall be determined by a survey to be completed by Buyer at Buyer's cost.

6) TITLE. Seller shall deliver to Buyer, as soon as practical after delivery of the option notice, an abstract of title to Lot 1, Block 1, River Park Estates, according to the recorded plat thereof, Stearns County, Minnesota, from which Buyer shall, at Buyer's cost, have an abstract of title created to

that portion of the premises being purchased pursuant to this Option, and the survey made pursuant thereto. Buyer shall have 60 days after receipt of the abstract to complete title work and obtain releases of mortgages to the portion of the main parcel being purchased by Buyer. Seller agrees to cooperate with Buyer in obtaining releases. Closing will be contingent upon the ability to obtain releases of 1.5 acres from existing mortgages.

7) CLOSING. The closing shall occur at such time and place as the parties mutually agree. At closing, Buyer shall deliver the purchase price (the full purchase price of \$33,750.00 less the earnest money of \$5,000.00 previously paid) to Seller, and the Seller shall deliver to Buyer the following:

a) A Warranty Deed to the property subject to all matters not timely objected to by Buyer.

b) Such title Affidavits as shall be required for insurance of an owner's title insurance policy.

c) Such other documents as shall reasonably requested by Buyer to facilitate the closing and transfer title of the property.

All expenses and income with respect to the property shall be pro-rated as of the closing date, with the exception of real estate taxes and special assessments, all of which shall be the responsibility of the Seller. Buyer shall pay the costs of filing the deed from the Seller and any premium on any title insurance policy resulting from the title commitment. All other costs shall be paid in the manner consistent with local custom.

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8) POSSESSORY RIGHTS. Buyer shall be entitled of full and complete possession of the property free of any and all rights of the Seller or any third parties immediately following closing. Seller covenants to give any third parties notice in a timely manner to quit prior to the date of closing. Seller shall have the right and obligation to remove from the property on or before the date of closing any personal property or debris located thereon.

9) BARE LOT. The parties hereto acknowledge that the property being purchased is a bare lot. There are no current existing improvements on the parcel to be surveyed. Seller agrees to provide reasonable access to the property to Buyer for inspection and survey at any time after the signing of this Option Agreement.

10) MAINTENANCE AFTER PURCHASE. In the event that the Buyer exercises the purchase Option hereby granted by Seller after the exercise of the Option, the Buyer agrees to maintain the area around the water retention pond to be constructed by the Buyer so that there is appropriate grass and the grass is mowed on a regular basis.

11) NOTICE. Each notice given pursuant to this Agreement shall be in writing and shall be addressed as follows:

If to Seller: Savage Land Partnership, LLC
29235 Co. Rd. 181
Paynesville, MN 56362

If to Buyer: City of Paynesville
221 Washburne Avenue
Paynesville, MN 56362

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Notices shall be deemed to have been delivered on the date it was personally delivered, faxed or emailed, or two (2) business days after the date it was deposited in the United States mail. Any party may change its address for delivery of notice by giving notice of such change to the other party, in the manner specified above, no fewer than five (5) days prior to the effective date of the change.

12) DEFAULT REMEDIES. In the event of breach of this Agreement, the non-breaching party shall, if the breach is not cured within five (5) business days following notice to the breaching party, be entitled to all remedies provided at law or in equity, including specific performance. A party who fails to cure its breach within five (5) business days following notice shall pay the reasonable attorney's fees and costs incurred by the non-breaching party in pursuing its remedies. Nothing in this section shall preclude a party from immediately seeking injunctive relief to prevent irreparable harm.

13) MISCELLANEOUS. This Agreement contains the entire understanding of the parties with respect to the property and supersedes all prior agreements and understandings between the parties with respect to the property. This Agreement may not be modified by except in writing executed by both parties. Time is of the essence in all provisions of this Agreement. This Agreement is not to be interpreted as creating a partnership or joint venture between the parties with respect to this

property. This Agreement shall be construed under the laws of the State of Minnesota. This Agreement shall run with the land and be binding upon and inure to the benefit of the parties' successors and assigns. Either party shall be entitled to record a copy of this Agreement in the public records as a notice of the existence of this Agreement, which notice need not recite the financial terms contained herein.

DATED: 8/28/2015

DATED: 10.26.15

SAVAGE LAND PARTNERSHIP, LLC

CITY OF PAYNESVILLE

By: *[Signature]*
Its:

By: *[Signature]*
Its: Mayor

By: _____
Its:

By: *[Signature]*
Its:

REQUEST FOR COMMITTEE/COUNCIL ACTION

COMMITTEE/COUNCIL NAME: City Council

Committee/Council Meeting Date: January 25, 2016

Agenda Section: Old Business

Originating Department: Administration

Item Number: VII – B

ITEM DESCRIPTION: MPCA – Water Treatment Grant

Prepared by: Staff

COMMENTS:

Kent Louwagie, Bolton & Menk and Ron Mergen will give a verbal report. Please review the attached VOC Pilot Plant Report.

ADMINISTRATOR COMMENTS:

COMMITTEE/COUNCIL ACTION:

VOC PILOT PLANT REPORT
Paynesville Water Treatment Facility
Paynesville, Minnesota

Bolton & Menk
January 15, 2016



DESIGNING FOR A BETTER TOMORROW

VOC PILOT PLANT REPORT
PAYNESVILLE WATER TREATMENT FACILITY
PAYNESVILLE, MINNESOTA

JANUARY 15, 2016

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature:  Typed or Printed Name: Paul Saffert
Date: 1/15/2016 Lic. No. 43485

SECTION 1 INTRODUCTION

A. BACKGROUND

The former Midtown Station was located near the intersection of Lake Avenue and Mill Street in Paynesville, Minnesota. The MPCA has been monitoring the benzene levels in a groundwater plume due to a leaking storage tank that was present on the site. The benzene plume has migrated toward the municipal well field which is the source of the drinking water for the community of Paynesville.

Benzene levels in the ground water have been detected as high as 20 parts per billion (micrograms per liter). The MPCA is using Well 4 in an effort to control the plume and Well 3 has been abandoned. Well 4 is currently not being used as a drinking water supply well due to the benzene.

As outlined in the Terracon Midtown Station report from September 17, 2015, the benzene appears to continue to migrate towards the municipal water supply and imposes a future risk to the water supply. The EPA Maximum Contaminant Level (MCL) is 5 micrograms per liter and the Maximum Contaminant Level Goal (MCLG) is zero due to the increased likelihood of anemia and cancer. The proposed treatment system will be designed to treat a concentration of 20 parts per billion.

The City of Paynesville is investigating methods of removing the benzene at the water treatment facility. The Best Available Technology (BAT) outlined for Volatile Organic Compounds (VOCs) by the Environmental Protection Agency (EPA) are packed tower aeration and granular activated carbon (GAC) adsorption.

Minnesota Department of Health recommends the removal of VOCs from private wells with a whole home GAC filter that is properly maintained and operated.

SECTION 2 TREATMENT OPTIONS

A. PACKED TOWER AERATION

Water is pumped to the top of a tower and falls through random pack media. At the same time, air is drawn into the bottom of the tower and pulled upward. The gas-liquid equilibrium, also referred to as the air and water interaction, causes the benzene to volatilize out of the water into the air. This is due to the air being continuously refreshed at a high rate. The benzene in the air is safely released into the atmosphere at extremely low doses.

The packed tower can be located anywhere in the existing process. It is recommended to locate this process following the gravity filter to prevent iron and manganese fouling of the packed tower.

B. ACTIVATED CARBON – ADSORPTION

Water is pumped through a pressure vessel filled with granular activated carbon (GAC). The benzene will attach or adsorb on the GAC and be removed from the water. After a period of time, the sites available in the GAC for the benzene to adsorb onto will become filled and the GAC will need to be replaced. It is recommended to provide a minimum of 3 vessels operating in series to allow full utilization of GAC prior to disposal.

SECTION 3 PILOT PLANT

A. OPERATIONS

The City of Paynesville will model a packed tower and will utilize water from existing Well 4 for the piloting process. The pilot will be constructed in the City Shop near a hydrant connected to Well 4. The packed tower pilot will use at least two random pack media configurations based on manufacturer recommendations. The goal is to provide the most efficient benzene removal system possible.

Two days of operation will consist of operating with a spiked or manmade raw source water. Diesel fuel will be directly added to the source water with a concentration goal of 20 parts per billion. Spiked samples will be tested for diesel range organics (DRO) and gasoline range organics (GRO) in addition to benzene.

Water flow rates and air flow rates will be monitored, recorded and optimized.

Raw water, as well as the pilot plant packed tower effluent, will be collected and analyzed over a 5 day operation. Samples will be taken from the influent and effluent of the packed tower near the conclusion of a daily 2-hour operation.

Once results are received back from the certified laboratory they will be evaluated and submitted to MDH. If the packed tower system does not provide the necessary removals, adjustments to the pilot study will be made. If a packed tower appears to be the incorrect application to achieve the treatment goal, a GAC system will be piloted prior to design and the results submitted to the MDH.

SECTION 4 RECOMMENDATION

A. SUMMARY

The recommendation is to pursue the air stripping tower due to the known effectiveness with varying raw benzene concentrations, treatment of other VOCs and the lower maintenance costs (not routinely changing GAC). Specific sizing and pricing will be investigated given the known water quality and system parameters.

Capital Costs Water Treatment Facility Paynesville, Minnesota		
Item	Packed Tower	GAC Filter
Site Work	\$50,000	\$50,000
Site Piping	\$30,000	\$30,000
Pumps	\$45,000	\$45,000
Packed Tower and Media	\$700,000	--
Pressure Vessels and Media	--	\$600,000
Building	\$450,000	\$600,000
Process Tank	\$100,000	--
Process Piping and Valves	\$100,000	\$200,000
Painting/Coating System	\$30,000	\$40,000
HVAC	\$55,000	\$40,000
Electrical and Controls	\$175,000	\$175,000
Subtotal	\$1,735,000	\$1,780,000
Contingencies	\$175,000	\$175,000
Engineering, Legal and Administration	\$480,000	\$480,000
Total	\$2,390,000	\$2,435,000

Annual Operations and Maintenance Costs Water Treatment Facility Paynesville, Minnesota		
Item	Packed Tower	GAC Filter
Electric (Pumps & Fan)	\$4,000	\$2,000
Staff Time	\$5,000	\$5,000
VOC Testing	\$3,000	\$3,000
Media Replace	\$4,200	\$25,000
Estimated Annual O&M Cost	\$16,200	\$35,000

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INFORMATIONAL

LAW ENFORCEMENT CENTER

Number Of Calls Report by Department - Complaint (All Units)

Jurisdiction: LEC

First Date: 12/01/2015

Last Date: 12/31/2015

Department	Complaint	Number
PPD		
	1014 ESCORT	2
	1021 PHONE CALL	13
	1050 ACCIDENT	3
	1053 ACCIDENT AMBULANCE ENROUTE	1
	911H 911 HANGUP CALL	1
	ABU ABUSE AGAINST CHILD	1
	ADORD APPREHENSION & DETENTION ORDER	1
	AL ALARM	1
	ANI ANIMAL COMPLAINT	1
	ASSTA AGENCY ASSIST	19
	ASSTB BUSINESS ASSIST	93
	ASSTP PERSONAL ASSIST	10
	CC CITIZEN CONTACT	1
	DANCOV DANCO VIOLATION	1
	DATA DATA REQUEST	1
	DOG DOG COMPLAINT/BARKING	2
	DOMI DOMESTIC IN PROGRESS	1
	DOORCHK DOOR CHECK(S)	4
	DRIVE DRIVING COMPLAINT	2
	DWI DRUNK DRIVER ARREST	2
	EVICION EVICTION	1
	FINGERPRINT FINGERPRINT	1
	FPATROL FOOT PATROL	48
	FPROP FOUND PROPERTY	3
	FUPC CRIMINAL FOLLOW UP	1
	FUP FOLLOW UP	9
	HAR HARASSMENT COMPLAINT	3
	HAZ HAZARD	2
	INFO MATTER OF INFORMATION	4
	JUVP JUVENILE/PROBLEM WITH	3
	JUVR JUVENILE/RUNAWAY	3
	MA MOTORIST ASSIST	1
	MED MEDICAL EMERGENCY	15
	MEETING ATTEND MEETING	6
	PARKPAT PARK PATROL	4
	PARKV PARKING VIOLATION	8
	PERD ISSUE DEER PERMIT	2
	PERG GUN PERMIT	3
	POR2CC PREDATORY OFFENDER REGISTRATIC	1
	PRDAM PROPERTY DAMAGE	1
	PURV PURSUIT/OF VEHICLE	1
	SCHOOLP SCHOOL PATROL	27
	SD SPECIAL DETAIL	2
	SHOP SHOPLIFTER	1
	SNOWBIRD SNOWBIRD	8
	SUIC SUICIDE THREAT	1
	SUSA SUSPICIOUS ACTIVITY	2
	SUSV SUSPICIOUS VEHICLE	3
	THEFTI THEFT IN PROGRESS	1
	THEFT THEFT	2

75

LAW ENFORCEMENT CENTER

Number Of Calls Report by Department - Complaint (All Units)

Jurisdiction: LEC

First Date: 12/01/2015

Last Date: 12/31/2015

Department	Complaint	Number
51 PPD		
	THEFTV THEFT FROM VEHICLE	1
	TRAFFIC STOP TRAFFIC STOP	99
	TRAIN TRAINING	1
	TRANS TRANSPORT	1
	TRES TRESPASSING/TRESPASSER	1
	VANDV VANDALISM TO VEHICLE	1
	VDITCH VEHICLE IN THE DITCH	1
	VERB VERBAL DISPUTE	7
	VULAD VULNERABLE ADULT	1
	WARRANT WARRANT	1
	WELF WELFARE CHECK	5
Group Total:		446

Report Total: 446

A call with multiple Departments assigned will be counted in the group total for each of these Departments, therefore such calls will be counted more than once. For this reason, the total number of calls may not equal the sum of the group totals

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Vehicle Mileage Form

Month of December 2015

(Reading taken January 1, 2015)

Vehicle	November Ending Miles	December Ending Miles	Next Oil Change	Last Oil Change	Date Oil Changed	Miles Driven
101 Ford	122,060	122,163	125,046	122,046	11/24/2015	103
Squad 2 SUV	71,003	72,941	74,706	71,706	12/15/2015	1,938
Squad 1 SUV	1,954	4,698	6,184	3,184	12/15/2015	2,744

Year to Date Mileage: 49,431

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Minnesota Pollution Control Agency

520 Lafayette Road North | St. Paul, Minnesota 55155-4194 | 651-296-6300
800-657-3864 | 651-282-5332 TTY | www.pca.state.mn.us | Equal Opportunity Employer

January 13, 2016

The Honorable Jeffrey Thompson
Mayor, City of Paynesville
221 Washburne Avenue
Paynesville, MN 56362

RE: Paynesville Wastewater Treatment Improvements
Project Performance Certification
Project No. 279818

Dear Mayor Thompson:

The Minnesota Pollution Control Agency (MPCA) has received and reviewed the project performance certification dated November 23, 2015, the revised operation and maintenance manual, documentation that the municipality is collecting sufficient funds to provide for operation and maintenance and equipment costs, and one copy of "as-built" plans and specifications on microfiche.

The information presented indicates that the project is performing according to the performance standards. The MPCA concurs that the project is performing as required.

This constitutes a formal decision in accordance with Minn. R. 7077.0288 or 40 CFR 35.3030 and shall serve as written notification of satisfactory performance to the Minnesota Public Facilities Authority in accordance with Minn. R. 7077.0290.

If you have any questions regarding project performance certification, please contact me at 651-757-2553.

Sincerely,

A handwritten signature in black ink, appearing to read "EuDale Mathiason".

EuDale Mathiason
Senior Engineer Specialist
SSTS Section
Municipal Division

EM:wgp

cc: Renee Eckerly, City of Paynesville
Ron Mergen, City of Paynesville
Ryan Kotta, Bolton & Menk, Ramsey, MN
Kathe Barrett, Public Facilities Authority
Bill Dunn, MPCA

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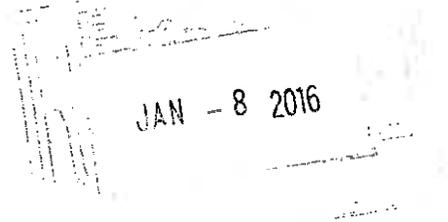


Minnesota Pollution Control Agency

Brainerd Office | 7678 College Road | Suite 105 | Baxter, MN 56425 | 218-828-2492

800-657-3864 | Use your preferred relay service | Info.pca@state.mn.us | Equal Opportunity Employer

January 5, 2016



Mr. Ron Mergen
Public Works Director
City of Paynesville
221 Washburne Avenue
Paynesville, MN 56362-1697

RE: Paynesville Wastewater Treatment Facility
2015 Irrigation Annual Report

Dear Mr. Mergen:

The Minnesota Pollution Control Agency (MPCA) is in receipt of the Paynesville wastewater treatment facility's 2015 annual report dated November 4, 2015. Thank you for your timely submission of the 2015 annual report. The report appears to be consistent with MPCA guidelines and requirements.

I appreciate the format of your report and its accuracy. We also value your participation with the MPCA's spray irrigation workshops, thank you very much.

If you have any questions regarding this letter, please feel free to email me at steven.stark@state.mn.us or call me at 218-316-3852.

Sincerely,

Steven A. Stark, P.S.S.
Hydrologist
Brainerd Office
Municipal Division

SAS:dlp

cc: Justin Barrick, MPCA

Account Summary

Basic Securities Account
364-109931-089

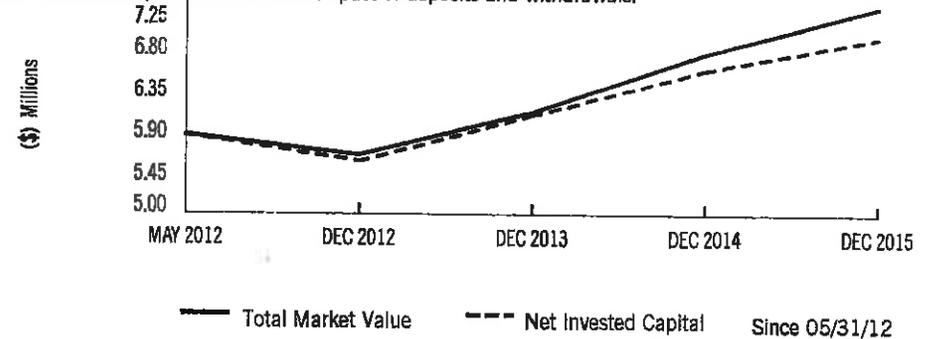
CITY OF PAYNESVILLE
ATTN: RENEE ECKERLY

CHANGE IN VALUE OF YOUR ACCOUNTS (includes accrued interest)

	This Period (12/1/15-12/31/15)	This Year (1/1/15-12/31/15)
TOTAL BEGINNING VALUE	\$7,252,055.36	\$6,714,981.28
Credits	—	1,828,475.22
Debits	(13,381.04)	(1,485,466.01)
Security Transfers	—	—
Net Credits/Debits/Transfers	\$(13,381.04)	\$343,009.21
Change in Value	(29,976.84)	150,706.99
TOTAL ENDING VALUE	\$7,208,697.48	\$7,208,697.48

CHANGE IN VALUE OVER TIME

The display of market value (total account value) and net invested capital (total amount invested minus total withdrawn), demonstrates the impact of deposits and withdrawals.

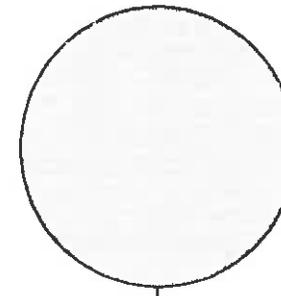


This graph does not reflect corrections to Net Invested Capital or Market Value made subsequent to the dates depicted. It may exclude transactions in Annuities or positions where we are not the custodian, which could delay the reporting of Market Value or affect the Net Invested Capital.

ASSET ALLOCATION (includes accrued interest)

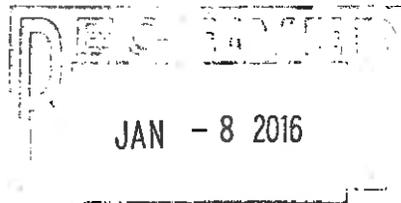
	Market Value	Percentage
Fixed Income & Preferreds	\$7,208,697.48	100.00
TOTAL VALUE	\$7,208,697.48	100.00%

FDIC rules apply and Bank Deposits are eligible for FDIC insurance but are not covered by SIPC. Cash and securities (including MMFs) are eligible for SIPC coverage. See Expanded Disclosures. Values may include assets externally held, which are provided to you as a courtesy, and may not be covered by SIPC. For additional information, refer to the corresponding section of this statement.



Fixed Income & Preferreds

This asset allocation represents holdings on a trade date basis, and projected settled Cash/BDP and MMF balances. These classifications do not constitute a recommendation and may differ from the classification of instruments for regulatory or tax purposes.



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Minnesota Pollution Control Agency

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January 19, 2016

The Honorable Jeffrey Thompson
Mayor, City of Paynesville
221 Washburne Avenue
Paynesville, MN 56362

JAN 21 2016

RE: Paynesville Wastewater Treatment Improvements
Grant Project Completion Certification
CFMS No. B54897

Dear Mayor Thompson:

The Minnesota Pollution Control Agency (MPCA) has completed the review of the requirements in the above referenced State of Minnesota Grant Contract with the city of Paynesville. The MPCA has determined that all applicable state requirements have been met by the city of Paynesville and the grant project is complete.

This letter shall serve as the written MPCA certification that the grant contract has been completed and has met the conditions of Minnesota Statutes 116.195.

If you have any questions, please contact me at 651-757-2553.

Sincerely,

EuDale Mathiason
Senior Engineer Specialist
SSTS Section
Municipal Division

EM:wgp

cc: Ryan Kotta, P.E., Bolton & Menk Inc., Ramsey
Renee Eckerly, City of Paynesville
Ron Mergen, City of Paynesville
Tracey Josephson, MPCA

al